

Approved Document M – M4(2) Cat 2: Accessible & adaptable dwellings compliance
(to satisfy Section 2B: Private entrances and spaces within the dwelling)

SHEET TO BE REFERRED TO WHEN DWELLING SUBJECT TO M4(2) COMPLIANCE CRITERIA

AS PLOTS - 12,111 OPP PLOTS - 13,112

Private entrance:

- a. Level external landing minimum width/depth of 1200 x 1200mm.
- b. Landing covered a minimum width of 900mm and depth of 600mm.
- c. Landing area illuminated automatically by dusk to dawn timer or by motion detecting sensor.
- d. Door to have minimum clear opening width of 850mm.
- e. Main leaf of any double doors to provide required minimum clear opening width.
- f. Minimum nib of 300mm to leading edge, maintained minimum distance of 1200mm beyond it.
- g. Maximum reveal on leading edge of door to be 200mm.
- h. Accessible threshold.
- i. Any lobby or porch doors minimum of 1500mm apart (min 1500mm between door swings).

Other external doors

- All other external doors to comply with items d) - i) (as noted above).

Circulation/internal doors:

- a. Minimum clear width of 900mm to every hall and landing.
- b. Circulation not reduced below 750mm at any point and not opposite doorway (i.e. Radiator).
- c. Minimum 750mm door width (when approach is head on in 900mm corridor).
- d. Minimum 750mm door width (when approach is not head on in 1200mm corridor).
- e. Minimum 775mm door width (when approach is not head on in 1050mm corridor).
- f. Minimum 800mm door width (when approach is not head on in 900mm corridor).
- g. Access to all entrance storey rooms step free.
- h. 300mm nib to leading edge of every door within entrance storey.
- i. Stair to be minimum width 850mm. (ignoring any newel posts).
- j. Minimum 1200mm clear space in front of & between all kitchen units.
- k. Glazing in principal living area to start maximum 850mm above floor level.
- l. Every bedroom to have clear width route of 750mm from doorway to window.
- m. At least one double bedroom with clear access zone minimum 750mm both sides and foot of bed.
- n. Every other double bedroom to provide 750mm clear space to one side & foot of bed.
- o. All single and twin bedrooms to provide 750mm clear space to one side of each bed.

Sanitary facilities (Excluding any En-Suite accommodation):

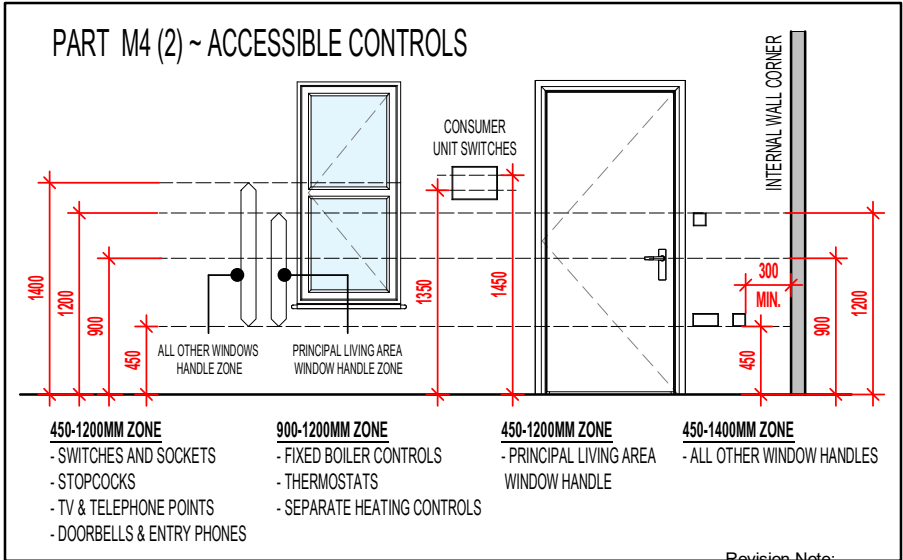
- a. All walls, boxings etc. to be strong enough to support grab rails / seats / other adaptations imposing loads up to 1.5KN/m²
- b. Entrance storey to provide WC & basin as a minimum
- c. In a 2 or 3 storey dwelling with 3 bedrooms or more, the WC also to provide potential level access shower.
- d. Every dwelling to have bathroom on the same floor as the principal double bedroom, including bath, WC and basin.
- e. All WC facilities on entrance storey to have doors that open outwards from room
- f. Provision for level access shower within bathroom if not located elsewhere in dwelling.

GENERAL NOTES

- **2 or 3 STOREY DWELLING with 1 or 2 BEDROOMS** - ENTRANCE STOREY WC TO COMPLY WITH APP DOC M4(2) DIAGRAM 1.3
- **2 or 3 STOREY DWELLING with 3 or more BEDROOMS** - ENTRANCE STOREY WC + SHOWER PROVISION TO COMPLY WITH APP DOC M4(2) DIAGRAM 2.5
- **ALL BATHROOMS** - TO INCLUDE WC / BASIN / BATH (ASSOCIATED CLEAR ACCESS ZONES TO COMPLY WITH APP DOC M4(2) DIAGRAM 2.5)

Controls/services

- a. Consumer units should be mounted so that switches are between 1350-1450mm above floor level
- b. Switches, sockets, stopcocks and controls, are located with their centre-line between 450-1200mm above floor level and a minimum of 300mm (measured horizontally) from an inside corner
- c. Handle to at least one window in principal living area located between 450-1200mm above floor level
- d. Handles to all other windows to be located between 450-1400mm above floor level
- e. Fixed boiler timer controls & thermostats mounted between 900-1200mm above floor level on the boiler or;
- f. Separate controllers (wired or wireless) mounted in an accessible location within 900-1200mm from floor level



GENERAL NOTE
SANITARY FACILITIES (EXCLUDING ANY EN-SUITE ACCOMMODATION):
ALL WALLS, DUCTS, BOXINGS ETC. TO BE STRONG ENOUGH TO
SUPPORT GRAB RAILS / SEATS / OTHER ADAPTATIONS THAT COULD
IMPOSE LOADS UP TO 1.5KN/M²
(REFER TO STANDARD DETAIL DRAWING WD-GD-EN-038 - M4(2) GRAB
RAIL SUPPORT & ASSOCIATED STRUCTURAL CALCULATIONS)

Project Title
LONDON ROAD, WOOLMER GREEN
AL10 - 1B / 2P / 628 - HARDING
2024 AFFORDABLE PORTFOLIO

Drawing Title
M4(2) COMPLIANCE NOTES
SEMI- DETACHED VARIANT

Scale
1 : 50

Drawn By
G.T.

Date
06.11.23

Drawing No.
00001

Revision

Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

(ITEMS SPECIFIC TO M4(2) COMPLIANCE) - GENERAL NOTE:
WHERE DWELLING IS TO BE M4(2) COMPLIANT, ITEMS DENOTED
AS SUCH TO BE PROVIDED AS STANDARD; OTHERWISE LAYOUT
SUBJECT TO APPROVED DOC. M4(1) CRITERIA.

AS PLOTS - 12,111 OPP PLOTS - 13,112

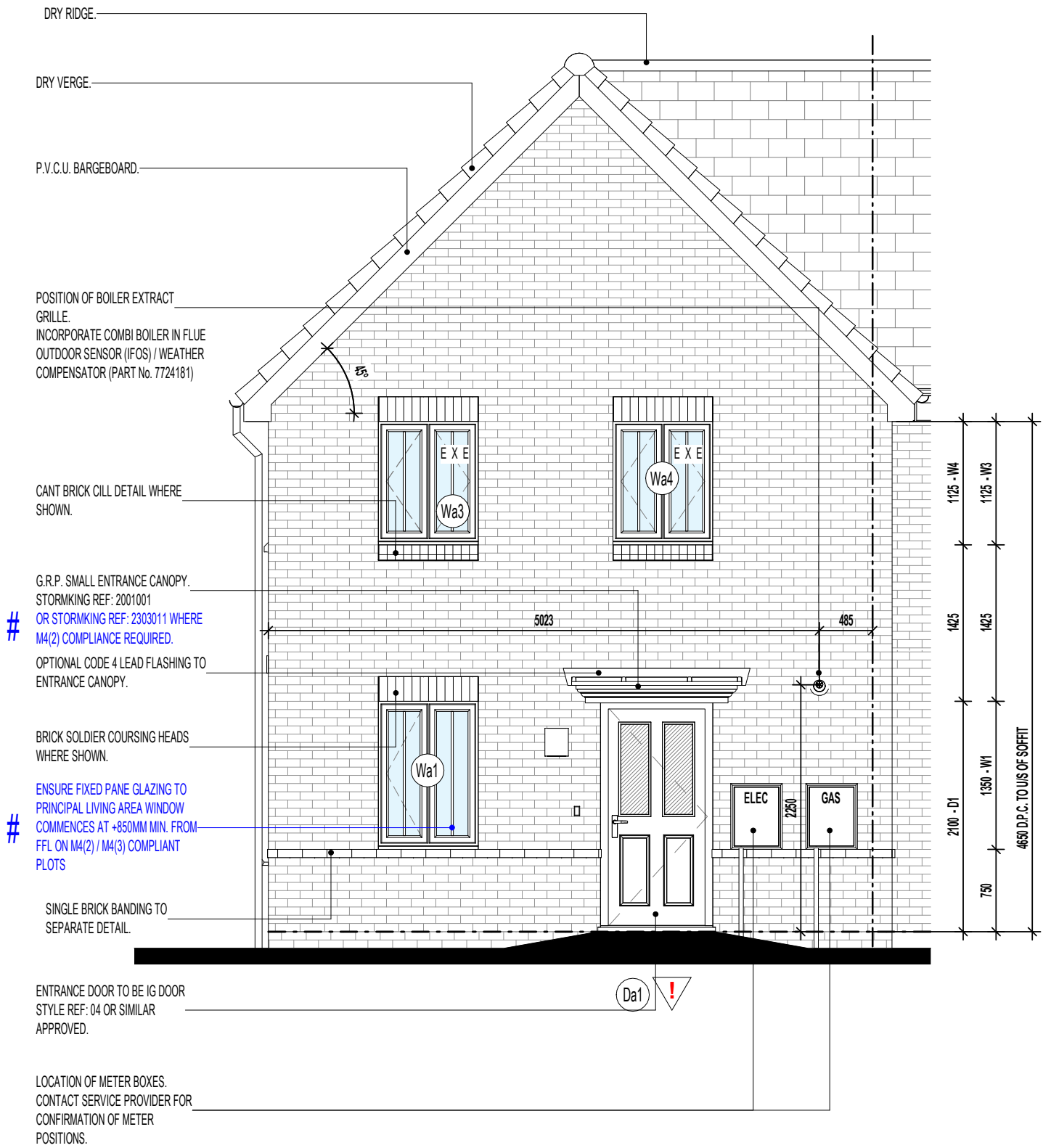
WINDOW KEY.



DENOTES WINDOWS TO BE SUPPLIED AS
TOUGHENED SAFETY GLASS.

EXE

DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS
WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST
450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO
APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS.



FRONT ELEVATION.

Revision Note:

--	--	--

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23

Drawing No.	Revision
AL10V411	

Project Title
LONDON ROAD, WOOLMER GREEN
AL10 - 1B / 2P / 628 - HARDING
2024 AFFORDABLE PORTFOLIO

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

Drawing Title
FRONT ELEVATION
VILLAGE OPTION 2
SEMI- DETACHED VARIANT

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

MOVEMENT JOINT TO
ELEVATIONS KEY:-



REFER TO STRUCTURAL ENGINEERS DRAWINGS.

INDICATES MOVEMENT JOINT TO OUTER BRICKWORK LEAF WITH 200MM LONG ANCON TIES PPS + DEBONDING SLEEVE (OR SIMILAR APPROVED) AT 450MM VERTICAL CENTRES

- MOVEMENT JOINTS SHOULD NOT BE GREATER THAN 6M FROM A FULLY BONDED RETURN.
- ADDITIONAL MOVEMENT JOINTS MAY BE REQUIRED DEPENDENT ON SUNLIGHT EXPOSURE (REGIONAL NHBC INSPECTOR TO CONFIRM ON PROJECT / PLOT SPECIFIC BASIS)

AS PLOTS - 12,111 OPP PLOTS - 13,112

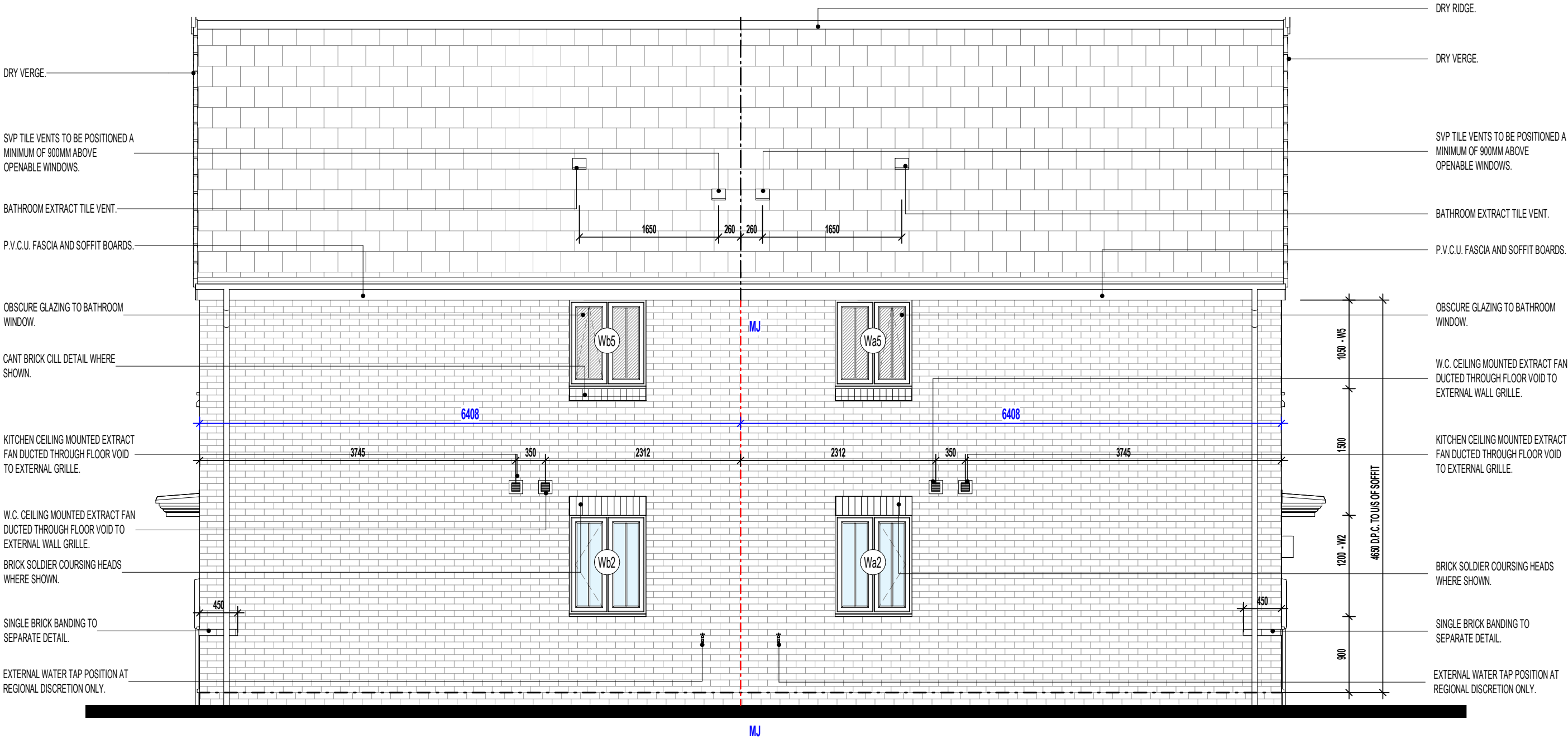
WINDOW KEY.



DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.

DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST 450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS.

EXE



L.H. SIDE ELEVATION.

Project Title
LONDON ROAD, WOOLMER GREEN
AL10 - 1B / 2P / 628 - HARDING
2024 AFFORDABLE PORTFOLIO

Drawing Title
L.H. SIDE ELEVATION
VILLAGE OPTION 2
SEMI- DETACHED VARIANT

Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.	Revision	
AL10V412		

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

(ITEMS SPECIFIC TO M4(2) COMPLIANCE) - GENERAL NOTE :
WHERE DWELLING IS TO BE M4(2) COMPLIANT, ITEMS DENOTED
AS SUCH TO BE PROVIDED AS STANDARD; OTHERWISE LAYOUT
SUBJECT TO APPROVED DOC. M4(1) CRITERIA.

AS PLOTS - 12,111 OPP PLOTS - 13,112

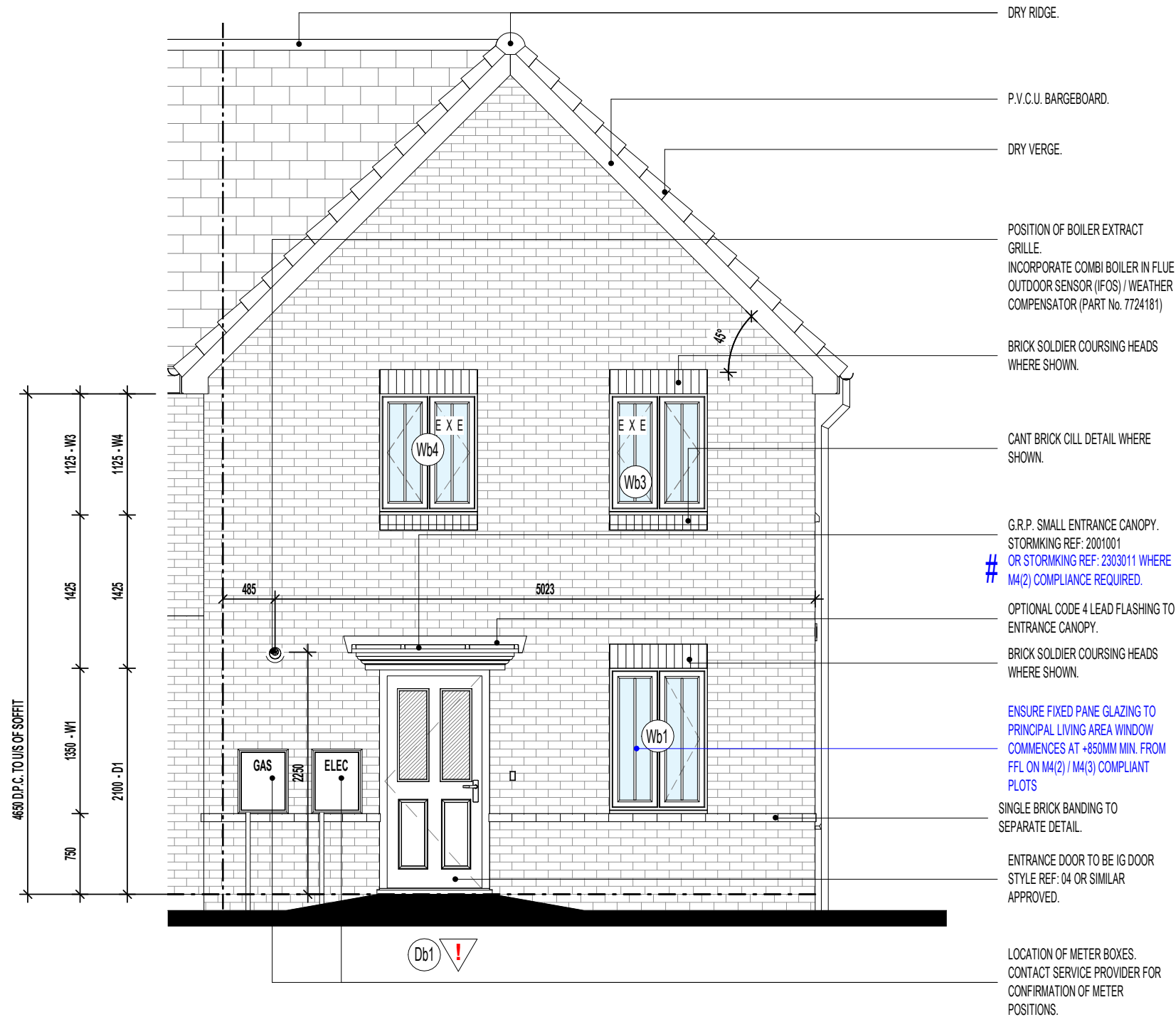
WINDOW KEY.



DENOTES WINDOWS TO BE SUPPLIED AS
TOUGHENED SAFETY GLASS.

EXE

DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS
WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST
450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO
APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS.



REAR ELEVATION.

Project Title
LONDON ROAD, WOOLMER GREEN
AL10 - 1B / 2P / 628 - HARDING
2024 AFFORDABLE PORTFOLIO

Drawing Title
REAR ELEVATION
VILLAGE OPTION 2
SEMI- DETACHED VARIANT

Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.	Revision	
AL10V413		

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

MOVEMENT JOINT TO
ELEVATIONS KEY:-



REFER TO STRUCTURAL ENGINEERS DRAWINGS.

INDICATES MOVEMENT JOINT TO OUTER BRICKWORK LEAF WITH 200MM LONG ANCON TIES
PPS + DEBONDING SLEEVE (OR SIMILAR APPROVED) AT 450MM VERTICAL CENTRES

- MOVEMENT JOINTS SHOULD NOT BE GREATER THAN 6M FROM A FULLY BONDED RETURN.
- ADDITIONAL MOVEMENT JOINTS MAY BE REQUIRED DEPENDENT ON SUNLIGHT EXPOSURE
(REGIONAL NHBC INSPECTOR TO CONFIRM ON PROJECT / PLOT SPECIFIC BASIS)

AS PLOTS - 12,111 OPP PLOTS - 13,112

WINDOW KEY.

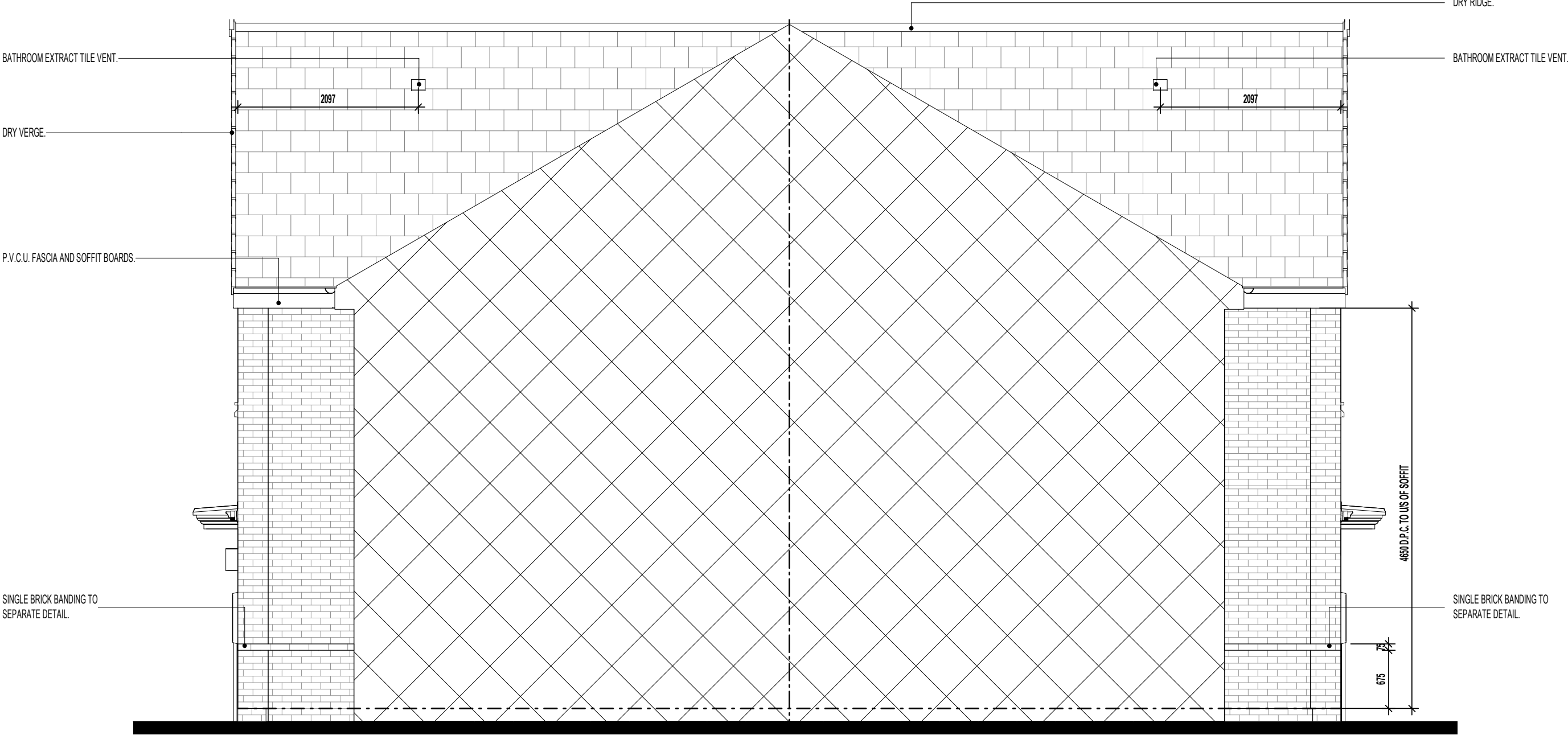


DENOTES WINDOWS TO BE SUPPLIED AS
TOUGHENED SAFETY GLASS.

DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS
WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST
450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO
APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS.

DRY RIDGE.

EXE



R.H. SIDE ELEVATION.

Project Title
LONDON ROAD, WOOLMER GREEN
AL10 - 1B / 2P / 628 - HARDING
2024 AFFORDABLE PORTFOLIO

Drawing Title
R.H. SIDE ELEVATION
VILLAGE OPTION 2
SEMI- DETACHED VARIANT

Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.	Revision	
AL10V414		

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

SWIFT BRICKS SHOULD :-

- **NOT** TO BE INSTALLED ABOVE DOORS OR WINDOWS
- BE INSTALLED IN GABLE WALLS (ABOVE THE INSULATION LINE) WHERE POSSIBLE
- BE INSTALLED AS HIGH AS POSSIBLE
- BE DIRECTLY UNDER THE SOFFIT
- BE MIN. 5M CLEAR FROM ADJACENT PROPERTY
- BE POSITIONED AWAY FROM HABITABLE ROOMS IF POSSIBLE
- BE SHOULD BE AT LEAST 650MM APART
- BE POSITIONED AWAY FROM OBSTRUCTIONS (I.E. TREES)
- BE INSTALLED ON NORTH TO SOUTH/EAST FACING FACADES ONLY - SEE SITE SPECIFIC MATERIAL PLANS FOR LOCATIONS
- BE INSTALLED IN ACCORDANCE WITH SEPARATE STANDARD DETAIL

NOTE: THERE COULD BE MORE THAN 1 ON THE PLOT - SEE SITE SPECIFIC MATERIAL PLANS FOR QUANTITY.

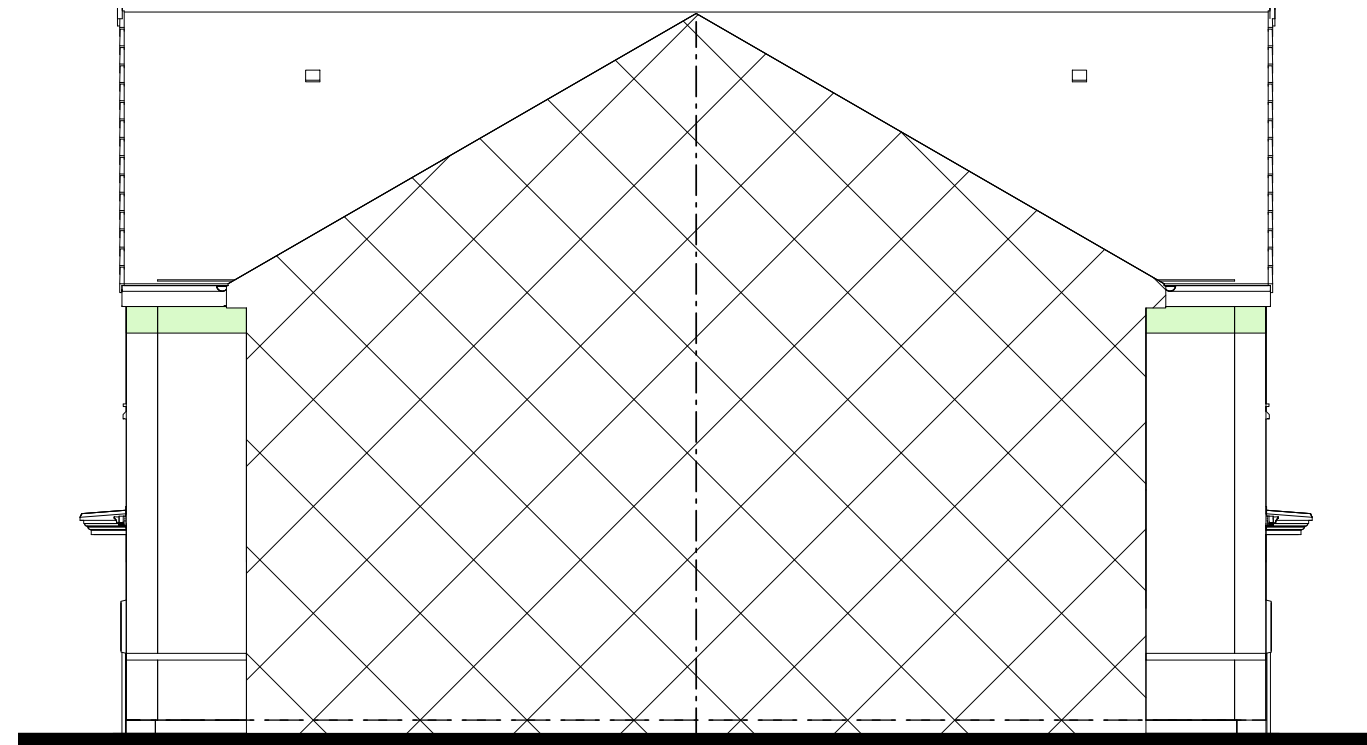
SEE 'SWIFT BRICK INSTALLATION GUIDANCE - FOR SITE MANAGERS AND DESIGNERS' DOCUMENT, STANDARD DETAIL REF. GEN-GD-EN-007 AND MANUFACTURERS INSTALLATION GUIDANCE FOR FURTHER DETAIL.

 GREEN SHADED ZONES INDICATE PREFERRED LOCATIONS

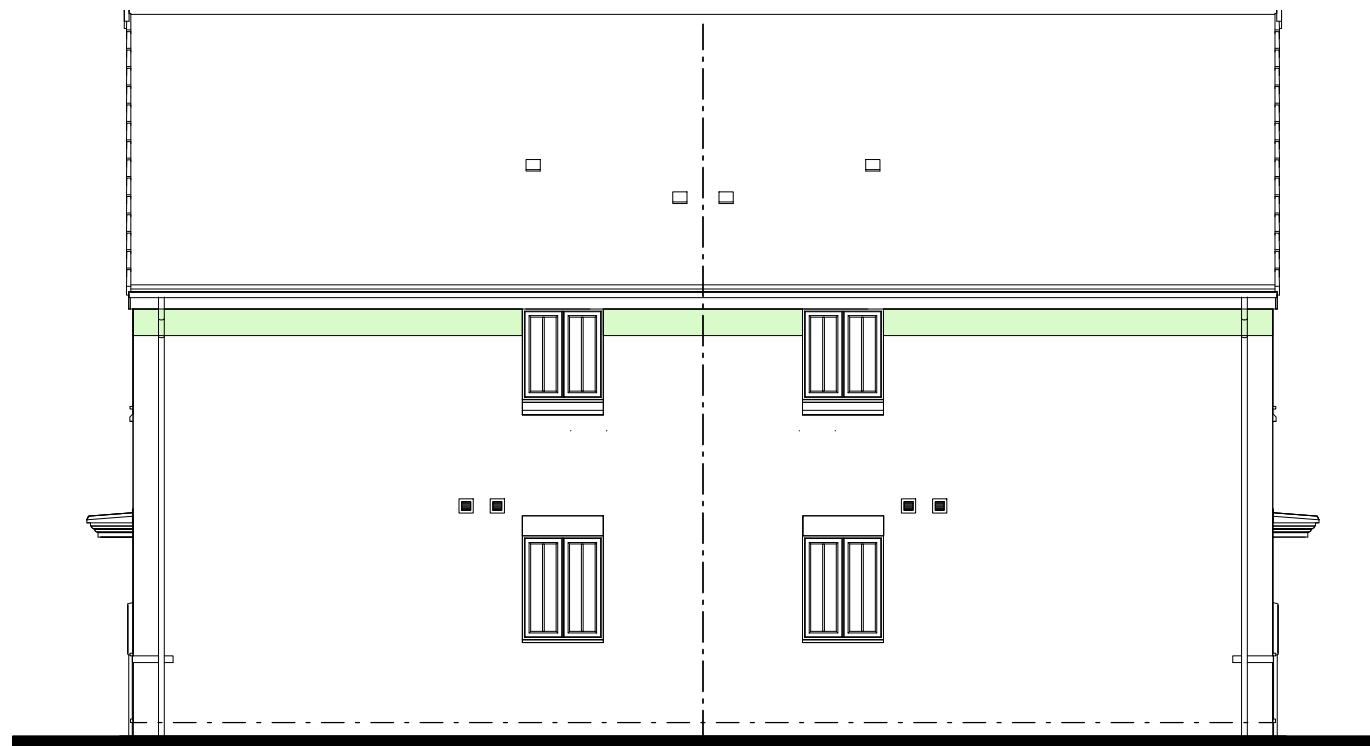
AS PLOTS - 12,111 OPP PLOTS - 13,112



FRONT ELEVATION.



R.H. SIDE ELEVATION.



L.H. SIDE ELEVATION.



REAR ELEVATION.

Project Title
LONDON ROAD, WOOLMER GREEN
AL10 - 1B / 2P / 628 - HARDING
2024 AFFORDABLE PORTFOLIO

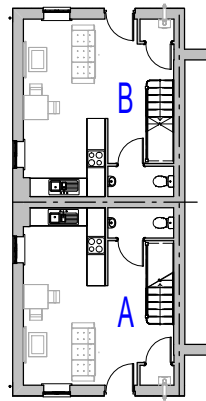
Drawing Title
SWIFT BRICK LOCATIONS

Revision Note:

Scale Drawn By Date
1 : 85 G.T. 14.03.25

Drawing No. Revision
AL10ZSBL

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk



KEY PLAN

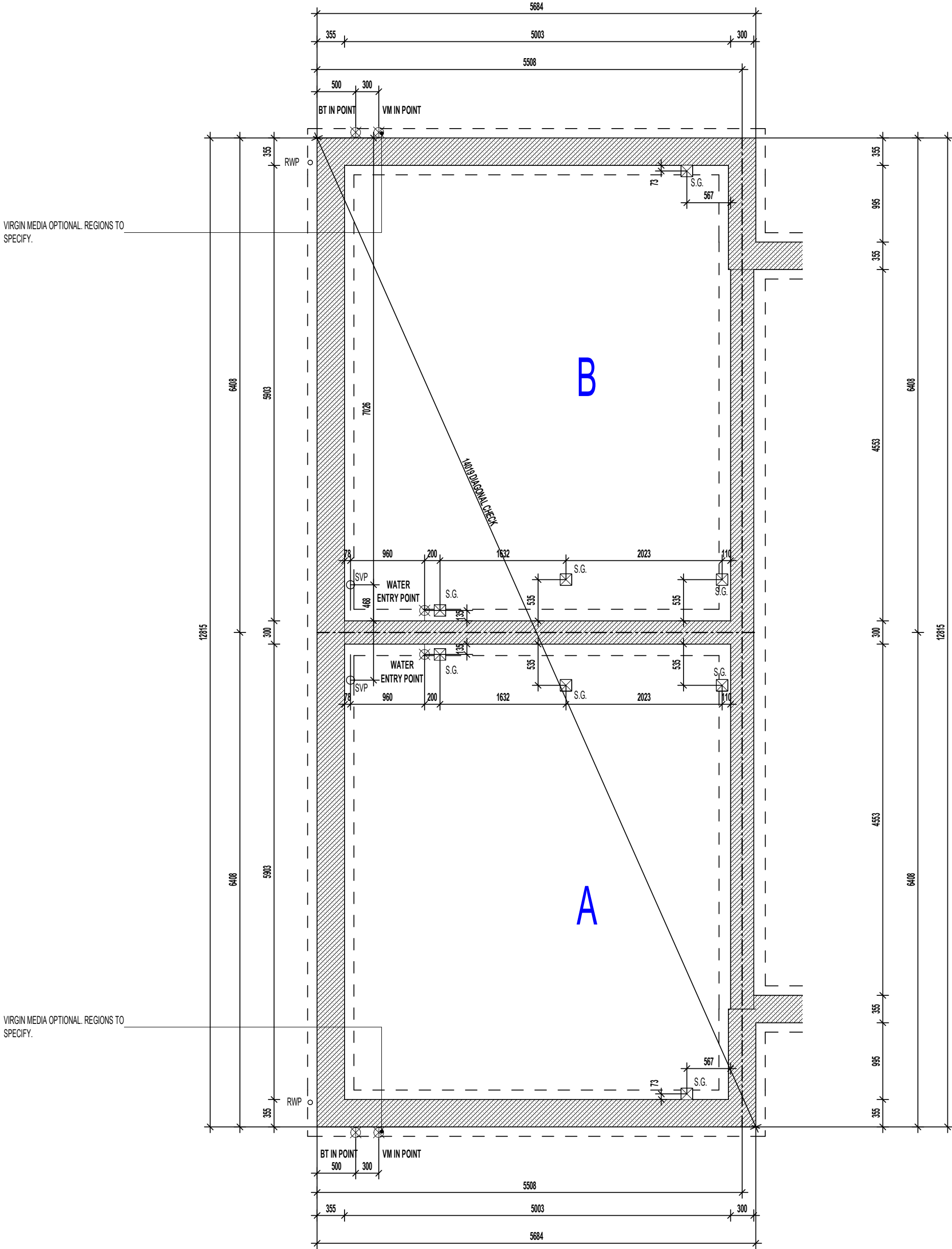
MAISONETTE PLOTTING:
A - OPP
B - AS

AS PLOTS - 12,111 OPP PLOTS - 13,112

WALL LEGEND.

- DENOTES 300MM THICK 3.6NMMF FOUNDATION BLOCKWORK
- DENOTES 355MM THICK 3.6NMMF FOUNDATION BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEERS DRAWINGS FOR ACTUAL SIZE & TYPE.



TRENCH BLOCK FOUNDATION PLAN
SCALE : 1:50

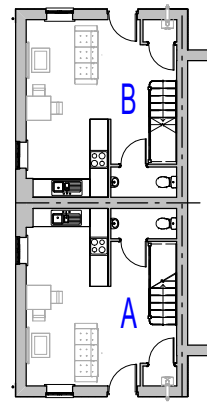
Project Title
LONDON ROAD, WOOLMER GREEN
AL10 - 1B / 2P / 628 - HARDING
2024 AFFORDABLE PORTFOLIO

Drawing Title
TRENCH BLOCK FOUNDATION PLAN

Revision Note:		
Scale	Drawn By	Date
As indicated	G.T.	06.11.23
Drawing No.	Revision	
AL10101		

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING



KEY PLAN

MAISONETTE PLOTTING:
A - OPP
B - AS

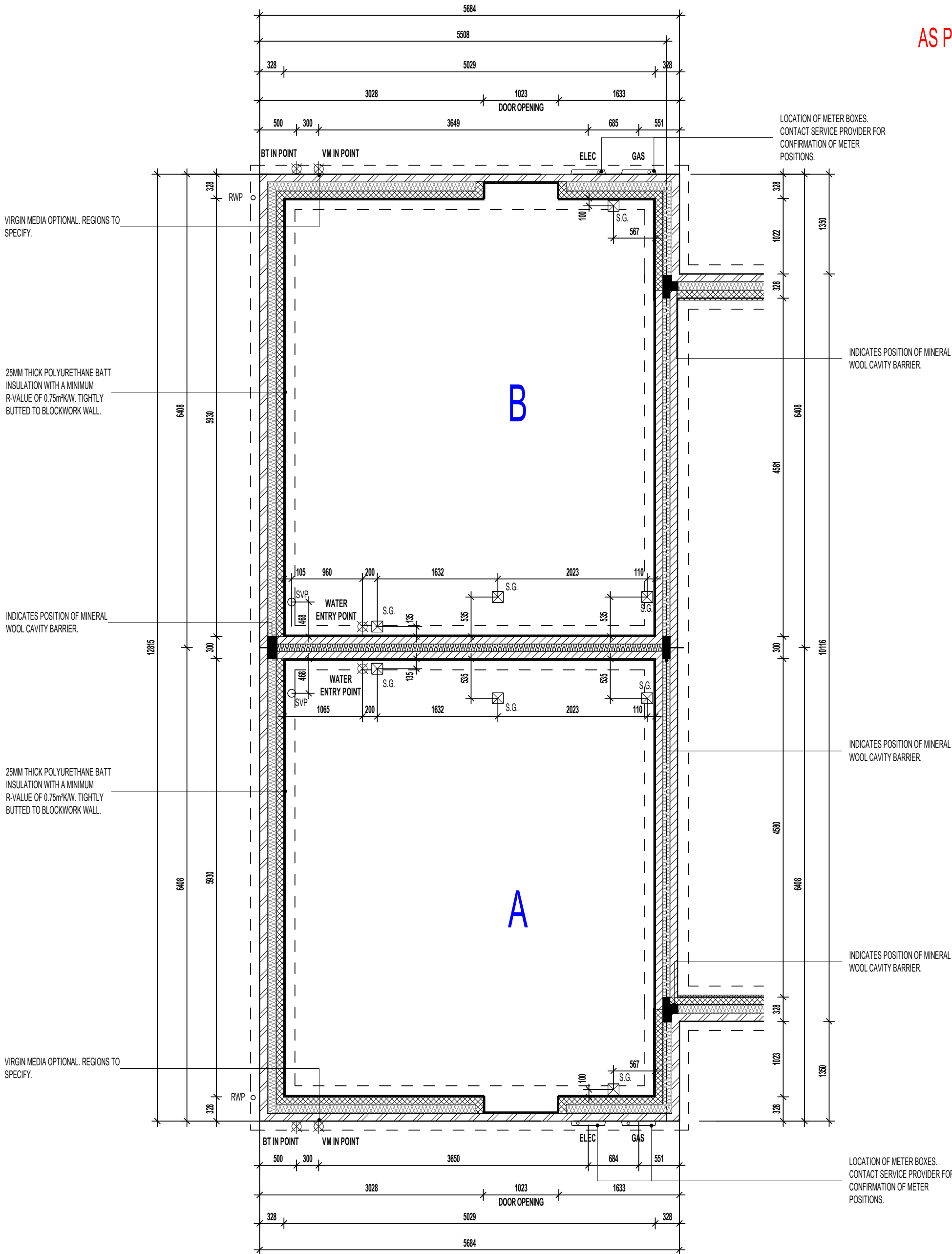
AS PLOTS - 12,111 OPP PLOTS - 13,112

WALL LEGEND.

- DENOTES 328MM THICK CAVITY WALL BELOW DPC :
- 102.5MM FACING BRICKWORK
 - 125MM WIDE INSULATED CAVITY
 - 100MM THICK 3.8NMMF STANDARD AIRCRETE BLOCKWORK
- DENOTES 300MM THICK PARTY WALL :
- 100MM THICK 3.8NMMF LIGHTWEIGHT AGGREGATE CONCRETE BLOCKWORK
 - 100MM WIDE INSULATED CAVITY
 - 100MM THICK 3.8NMMF LIGHTWEIGHT AGGREGATE CONCRETE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:
REFER TO DIMENSIONED G.F. PLANS FOR EXTERNAL & INTERNAL DOOR
LOCATIONS AND CROSS REFER TO ASSOCIATED STANDARD DETAILS FOR
DOOR THRESHOLD TREATMENT.



GROUND BEARING FOUNDATION PLAN
SCALE : 1:50

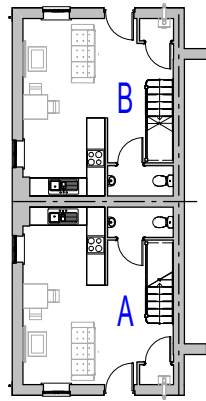
Project Title
LONDON ROAD, WOOLMER GREEN
AL10 - 1B / 2P / 628 - HARDING
2024 AFFORDABLE PORTFOLIO

Drawing Title
GROUND BEARING FOUNDATION PLAN

Revision Note:		
Scale	Drawn By	Date
As indicated	G.T.	06.11.23
Drawing No.	Revision	
AL10102		

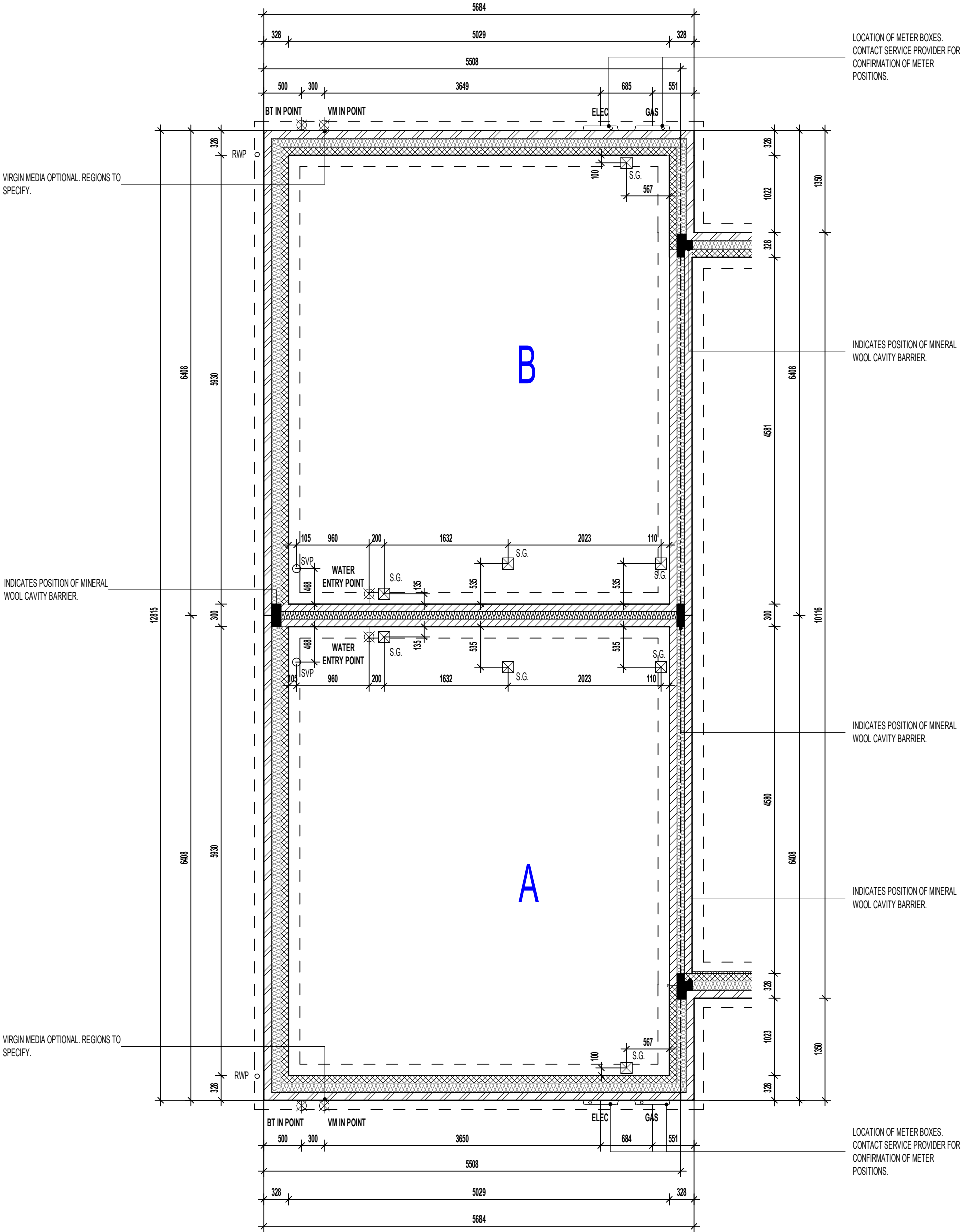
millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING



KEY PLAN

MAISONETTE PLOTTING:
A - OPP
B - AS



WALL LEGEND.

- DENOTES 328MM THICK CAVITY WALL BELOW DPC :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
- DENOTES 300MM THICK PARTY WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE CONCRETE BLOCKWORK
- 100MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE CONCRETE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:
REFER TO DIMENSIONED G.F. PLANS FOR EXTERNAL & INTERNAL DOOR
LOCATIONS AND CROSS REFER TO ASSOCIATED STANDARD DETAILS FOR
DOOR THRESHOLD TREATMENT.

SUSPENDED SLAB FOUNDATION PLAN
SCALE : 1:50

REFER TO STRUCTURAL ENGINEER'S CALCULATIONS FOR
SUSPENDED SLAB THICKNESS AND STEELWORK SCHEDULE

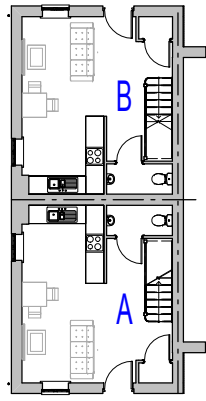
Project Title
LONDON ROAD, WOOLMER GREEN
AL10 - 1B / 2P / 628 - HARDING
2024 AFFORDABLE PORTFOLIO

Drawing Title
SUSPENDED SLAB FOUNDATION PLAN

Revision Note:		
Scale	Drawn By	Date
As indicated	G.T.	06.11.23
Drawing No.	Revision	
AL10103		

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING



KEY PLAN

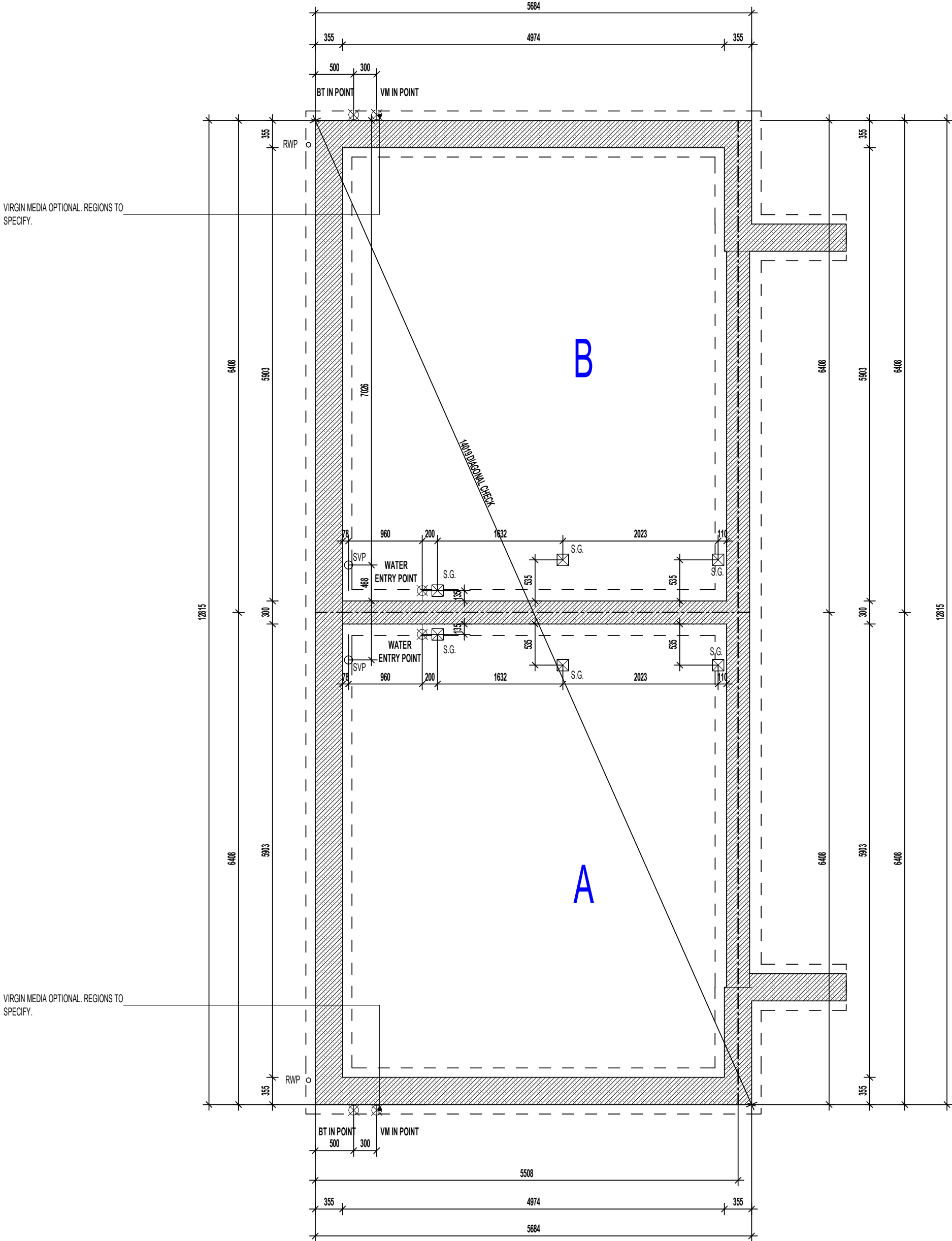
MAISONETTE PLOTTING:
A - OPP
B - AS

AS PLOTS - 12,111 OPP PLOTS - 13,112

WALL LEGEND.

- DENOTES 300MM THICK 3.6NMMF FOUNDATION BLOCKWORK
- DENOTES 355MM THICK 3.6NMMF FOUNDATION BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEERS DRAWINGS FOR ACTUAL SIZE & TYPE.



TRENCH BLOCK FOUNDATION PLAN
SCALE : 1:50

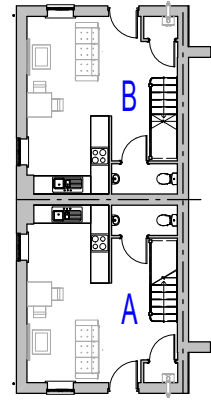
Project Title
LONDON ROAD, WOOLMER GREEN
AL10 - 1B / 2P / 628 - HARDING
2024 AFFORDABLE PORTFOLIO

Drawing Title
ASHP TRENCH BLOCK FOUNDATION PLAN

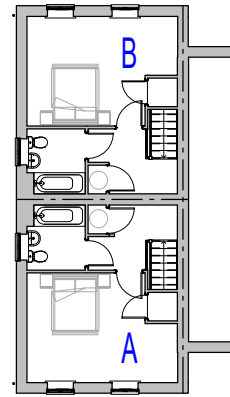
Revision Note:		
Scale	Drawn By	Date
As indicated	G.T.	14.03.25
Drawing No.	Revision	
AL10111		

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING



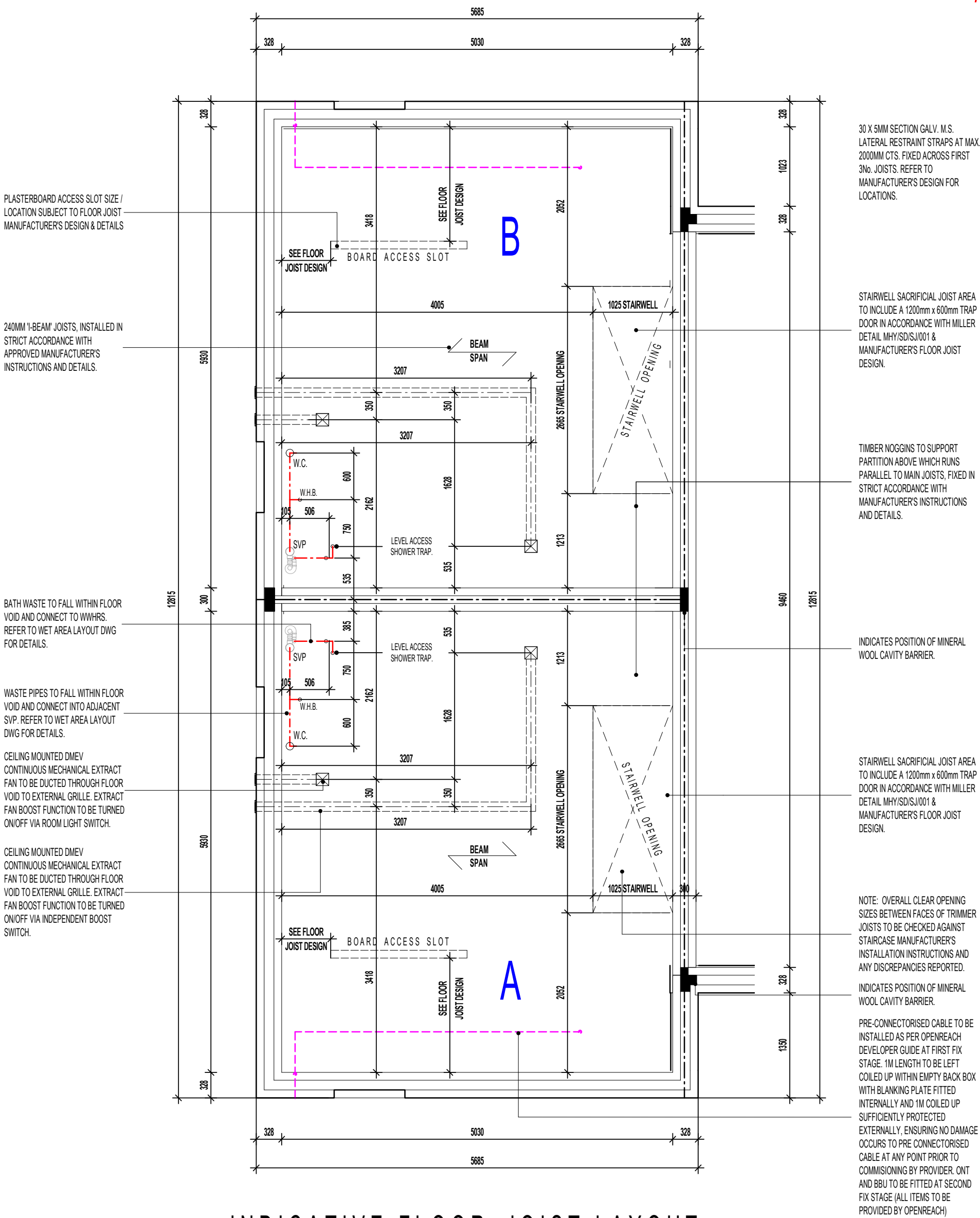
KEY PLAN



KEY PLAN

MAISONETTE PLOTTING:
A - OPP
B - AS

AS PLOTS - 12,111 OPP PLOTS - 13,112



INDICATIVE FLOOR JOIST LAYOUT.
SCALE : 1:50

REFER TO MANUFACTURERS' DRAWINGS FOR FURTHER INFORMATION.

Project Title
LONDON ROAD, WOOLMER GREEN
AL10 - 1B / 2P / 628 - HARDING
2024 AFFORDABLE PORTFOLIO

Drawing Title
F.F. INDICATIVE FLOOR JOIST LAYOUT

Revision Note:		
Scale	Drawn By	Date
As indicated	G.T.	06.11.23
Drawing No.	Revision	
AL10301		

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING

