

Approved Document M – M4(2) Cat 2: Accessible & adaptable dwellings compliance
(to satisfy Section 2B: Private entrances and spaces within the dwelling)

SHEET TO BE REFERRED TO WHEN DWELLING SUBJECT TO M4(2) COMPLIANCE CRITERIA

Private entrance:

- a. Level external landing minimum width/depth of 1200 x 1200mm.
- b. Landing covered a minimum width of 900mm and depth of 600mm.
- c. Landing area illuminated automatically by dusk to dawn timer or by motion detecting sensor.
- d. Door to have minimum clear opening width of 850mm.
- e. Main leaf of any double doors to provide required minimum clear opening width.
- f. Minimum nib of 300mm to leading edge, maintained minimum distance of 1200mm beyond it.
- g. Maximum reveal on leading edge of door to be 200mm.
- h. Accessible threshold.
- i. Any lobby or porch doors minimum of 1500mm apart (min 1500mm between door swings).

Other external doors

- All other external doors to comply with items d) - i) (as noted above).

Circulation/internal doors:

- a. Minimum clear width of 900mm to every hall and landing.
- b. Circulation not reduced below 750mm at any point and not opposite doorway (i.e. Radiator).
- c. Minimum 750mm door width (when approach is head on in 900mm corridor).
- d. Minimum 750mm door width (when approach is not head on in 1200mm corridor).
- e. Minimum 775mm door width (when approach is not head on in 1050mm corridor).
- f. Minimum 800mm door width (when approach is not head on in 900mm corridor).
- g. Access to all entrance storey rooms step free.
- h. 300mm nib to leading edge of every door within entrance storey.
- i. Stair to be minimum width 850mm. (ignoring any newel posts).
- j. Minimum 1200mm clear space in front of & between all kitchen units.
- k. Glazing in principal living area to start maximum 850mm above floor level.
- l. Every bedroom to have clear width route of 750mm from doorway to window.
- m. At least one double bedroom with clear access zone minimum 750mm both sides and foot of bed.
- n. Every other double bedroom to provide 750mm clear space to one side & foot of bed.
- o. All single and twin bedrooms to provide 750mm clear space to one side of each bed.

Sanitary facilities (Excluding any En-Suite accommodation):

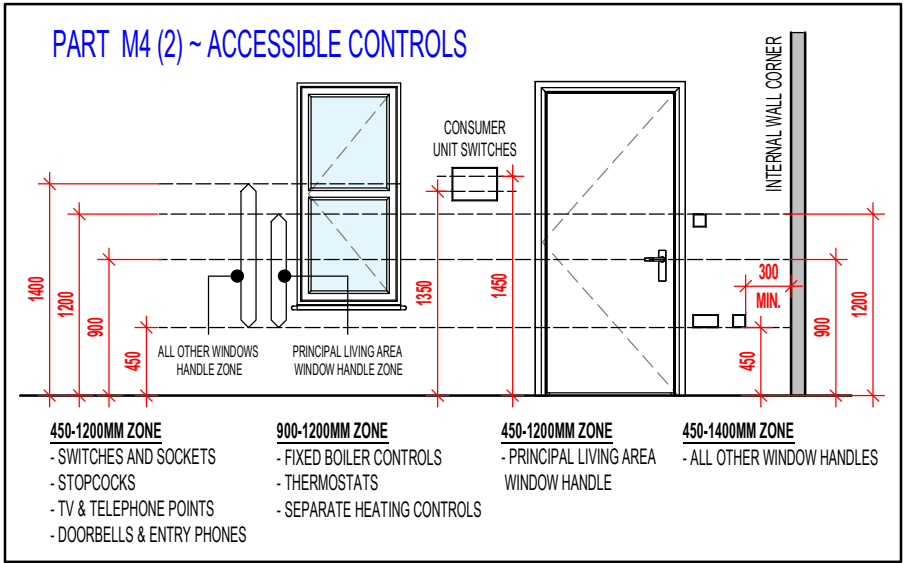
- a. All walls, boxings etc. to be strong enough to support grab rails / seats / other adaptations imposing loads up to 1.5KN/m²
- b. Entrance storey to provide WC & basin as a minimum
- c. In a 2 or 3 storey dwelling with 3 bedrooms or more, the WC also to provide potential level access shower.
- d. Every dwelling to have bathroom on the same floor as the principal double bedroom, including bath, WC and basin.
- e. All WC facilities on entrance storey to have doors that open outwards from room
- f. Provision for level access shower within bathroom if not located elsewhere in dwelling.

GENERAL NOTES

- 2 or 3 STOREY DWELLING with 1 or 2 BEDROOMS - ENTRANCE STOREY WC TO COMPLY WITH APP DOC M4(2) DIAGRAM 1.3
- 2 or 3 STOREY DWELLING with 3 or more BEDROOMS - ENTRANCE STOREY WC + SHOWER PROVISION TO COMPLY WITH APP DOC M4(2) DIAGRAM 2.5
- ALL BATHROOMS - TO INCLUDE WC / BASIN / BATH (ASSOCIATED CLEAR ACCESS ZONES TO COMPLY WITH APP DOC M4(2) DIAGRAM 2.5)

Controls/services

- a. Consumer units should be mounted so that switches are between 1350-1450mm above floor level
- b. Switches, sockets, stopcocks and controls, are located with their centre-line between 450-1200mm above floor level and a minimum of 300mm (measured horizontally) from an inside corner
- c. Handle to at least one window in principal living area located between 450-1200mm above floor level
- d. Handles to all other windows to be located between 450-1400mm above floor level
- e. Fixed boiler timer controls & thermostats mounted between 900-1200mm above floor level on the boiler or;
- f. Separate controllers (wired or wireless) mounted in an accessible location within 900-1200mm from floor level



GENERAL NOTE
SANITARY FACILITIES (EXCLUDING ANY EN-SUITE ACCOMMODATION):
ALL WALLS, DUCTS, BOXINGS ETC. TO BE STRONG ENOUGH TO
SUPPORT GRAB RAILS / SEATS / OTHER ADAPTATIONS THAT COULD
IMPOSE LOADS UP TO 1.5KN/M²
(REFER TO STANDARD DETAIL DRAWING WD-GD-EN-038 - M4(2) GRAB
RAIL SUPPORT & ASSOCIATED STRUCTURAL CALCULATIONS)

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
M4(2) COMPLIANCE

Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.	Revision	
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AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74



SWIFT BRICKS SHOULD :-

- **NOT** TO BE INSTALLED ABOVE DOORS OR WINDOWS
- BE INSTALLED IN GABLE WALLS (ABOVE THE INSULATION LINE) WHERE POSSIBLE
- BE INSTALLED AS HIGH AS POSSIBLE
- BE DIRECTLY UNDER THE SOFFIT
- BE MIN. 5M CLEAR FROM ADJACENT PROPERTY
- BE POSITIONED AWAY FROM HABITABLE ROOMS IF POSSIBLE
- BE SHOULD BE AT LEAST 650MM APART
- BE POSITIONED AWAY FROM OBSTRUCTIONS (I.E. TREES)
- BE INSTALLED ON NORTH TO SOUTH/EAST FACING FACADES ONLY - SEE SITE SPECIFIC MATERIAL PLANS FOR LOCATIONS
- BE INSTALLED IN ACCORDANCE WITH SEPARATE STANDARD DETAIL

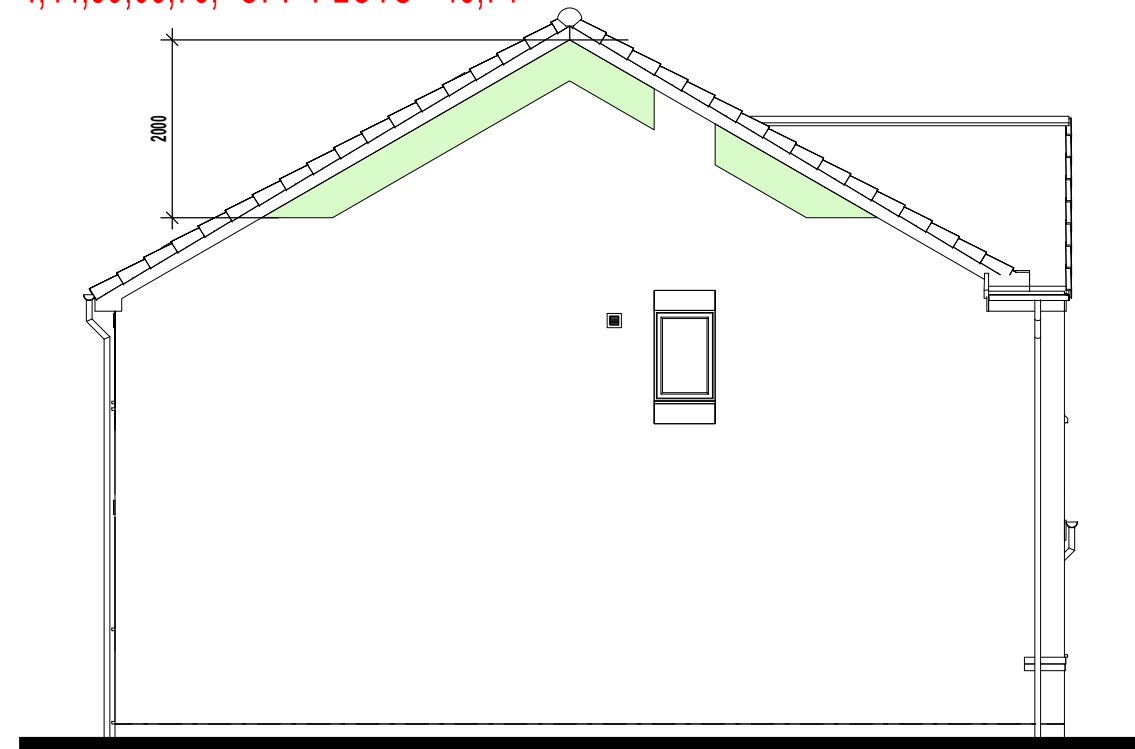
NOTE: THERE COULD BE MORE THAN 1 ON THE PLOT - SEE SITE SPECIFIC MATERIAL PLANS FOR QUANTITY.

SEE 'SWIFT BRICK INSTALLATION GUIDANCE - FOR SITE MANAGERS AND DESIGNERS' DOCUMENT, STANDARD DETAIL REF. GEN-GD-EN-007 AND MANUFACTURERS INSTALLATION GUIDANCE FOR FURTHER DETAIL.

 GREEN SHADED ZONES INDICATE PREFERRED LOCATIONS



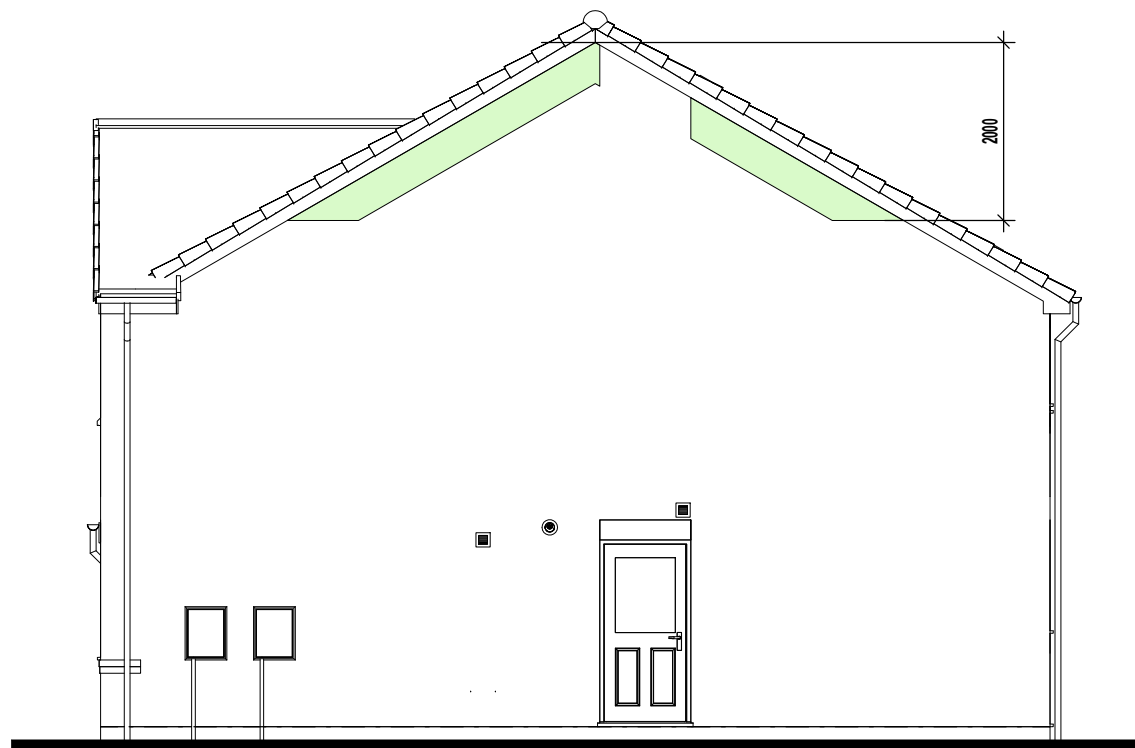
FRONT ELEVATION.



L.H. SIDE ELEVATION.



REAR ELEVATION.



R.H. SIDE ELEVATION.

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
SWIFT BRICK LOCATIONS

Revision Note:

Scale 1 : 85 Drawn By G.T. Date 14.03.25

Drawing No. L474ZSBL Revision

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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

WINDOW KEY.

- !

Denotes windows to be supplied as toughened safety glass.
- EXE

Denotes window to be supplied as emergency egress window and have un-obstructed opening of at least 450mm x 450mm giving an area of 0.33 sq.m conforming to approved document part B1 of the building regulations.

RAINWATER GOODS - GENERAL NOTES
ALL RWP LOCATIONS DENOTED ARE DESIGNED IN ACCORDANCE WITH POLYPIPE'S RAINWATER DISCHARGE CALCULATIONS.

FIGURES BASED ON **POLYFLOW RAINWATER SYSTEM** (i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND RAINFALL DESIGN INTENSITY OF 75MM/HOUR

(ITEMS SPECIFIC TO M4(2) COMPLIANCE) - GENERAL NOTE :
WHERE DWELLING IS TO BE M4(2) COMPLIANT, ITEMS DENOTED AS SUCH TO BE PROVIDED AS STANDARD; OTHERWISE LAYOUT SUBJECT TO APPROVED DOC. M4(1) CRITERIA.

INDICATIVE PHOTOVOLTAIC (P.V.) ARRAY POSITION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING. REFER TO SITE/PLOT SPECIFIC PV DESIGNS FOR EXACT REQUIREMENTS.



FRONT ELEVATION.

EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P. SCHEDULE & SPECIALIST'S DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
FRONT ELEVATION
COTTAGE OPTION 2

Revision Note:		
Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.	Revision	
L474C411		

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AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

WINDOW KEY.



DENOTES WINDOWS TO BE SUPPLIED AS
 TOUGHENED SAFETY GLASS.

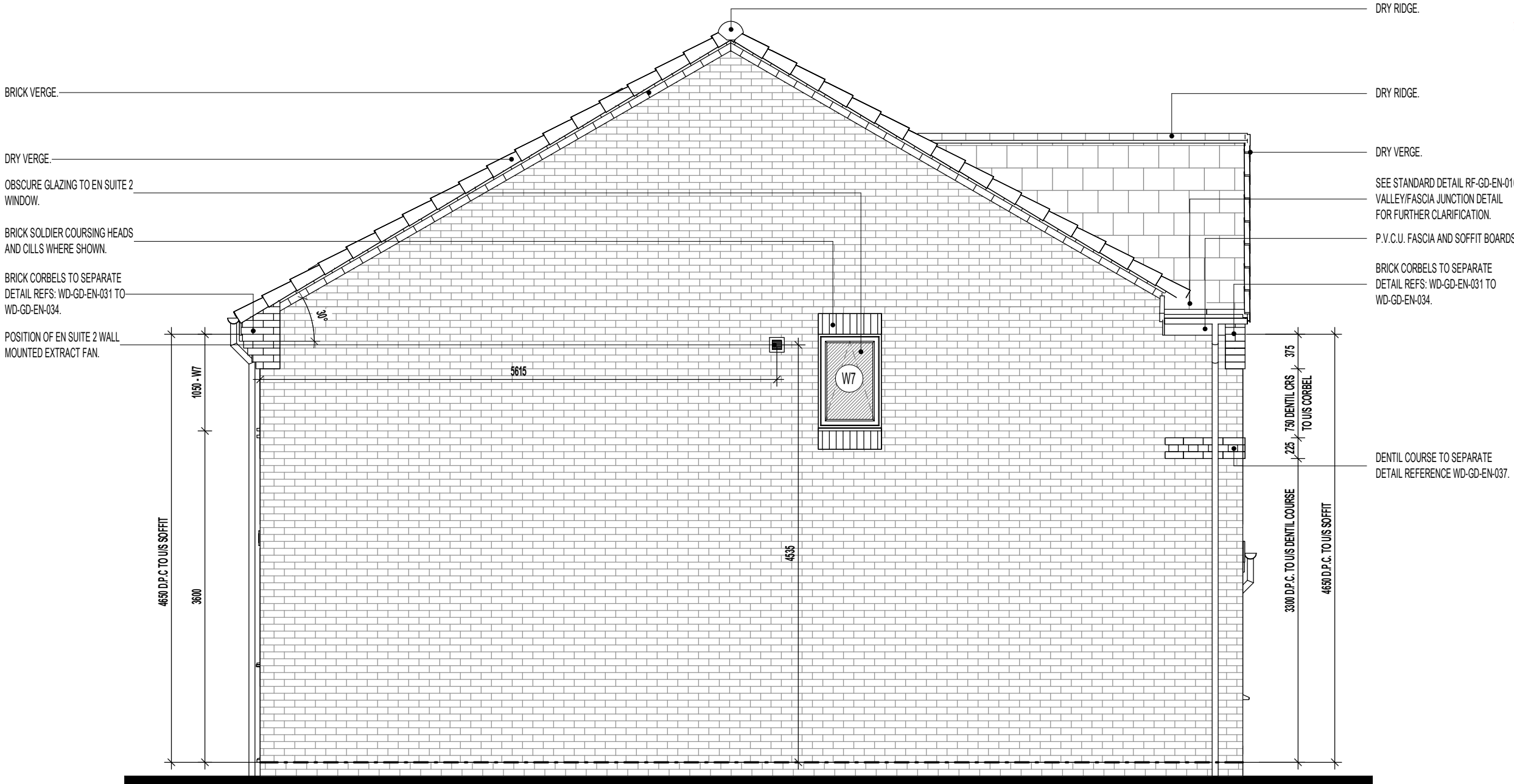
EXE

DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS
 WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST
 450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO
 APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS

RAINWATER GOODS - GENERAL NOTES

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FIGURES BASED ON POLYFLOW RAINWATER SYSTEM
(i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND
RAINFALL DESIGN INTENSITY OF 75MM/HOUR



L.H. SIDE ELEVATION

EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P. SCHEDULE & SPECIALIST'S DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title

LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title

L.H. SIDE ELEVATION
COTTAGE OPTION 2

Revision Note

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1 : 50

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06.11.23

Drawing No.

Revision

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

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ALL RWP LOCATIONS DENOTED ARE DESIGNED IN ACCORDANCE
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FIGURES BASED ON POLYFLOW RAINWATER SYSTEM
(i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND
RAINFALL DESIGN INTENSITY OF 75MM/HOUR

WINDOW KEY.

! DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.

EXE DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST 450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS.

INDICATIVE PHOTOVOLTAIC (P.V.)
ARRAY POSITION, SUBJECT TO
SITE/PLOT LOCATION & ORIENTATION
OF DWELLING. REFER TO SITE/PLOT
SPECIFIC PV DESIGNS FOR EXACT
REQUIREMENTS.

DRY VERGE.

SVP TILE VENTS TO BE POSITIONED A
MINIMUM OF 900MM ABOVE
OPENABLE WINDOWS.

OBSCURE GLAZING TO BATHROOM
WINDOW.

POSITION OF BATHROOM WALL
MOUNTED EXTRACT FAN.

KITCHEN CEILING MOUNTED EXTRACT
FAN DUCTED THROUGH FLOOR VOID
TO EXTERNAL GRILLE.

DRY RIDGE.

SVP TILE VENTS TO BE POSITIONED A
MINIMUM OF 900MM ABOVE
OPENABLE WINDOWS.

DRY VERGE.

P.V.C.U. FASCIA AND SOFFIT BOARDS.

BRICK CORBELS TO SEPARATE
DETAIL REFS: WD-GD-EN-031 TO
WD-GD-EN-034.

BRICK SOLDIER COURSING HEADS
AND CILLS WHERE SHOWN.

LEVEL ACCESS THRESHOLD STRIP TO
REAR EXTERNAL DOOR WHEN
PLOTTED AS M4(2) TO BE MAX. 15MM
HIGH WITH CHAMFERED EDGES.

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REAR ELEVATION.

EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P. SCHEDULE & SPECIALIST'S DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
REAR ELEVATION
COTTAGE OPTION 2

Revision Note:

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Drawing No.	Revision	
L474C413		

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AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

WINDOW KEY.



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EXE

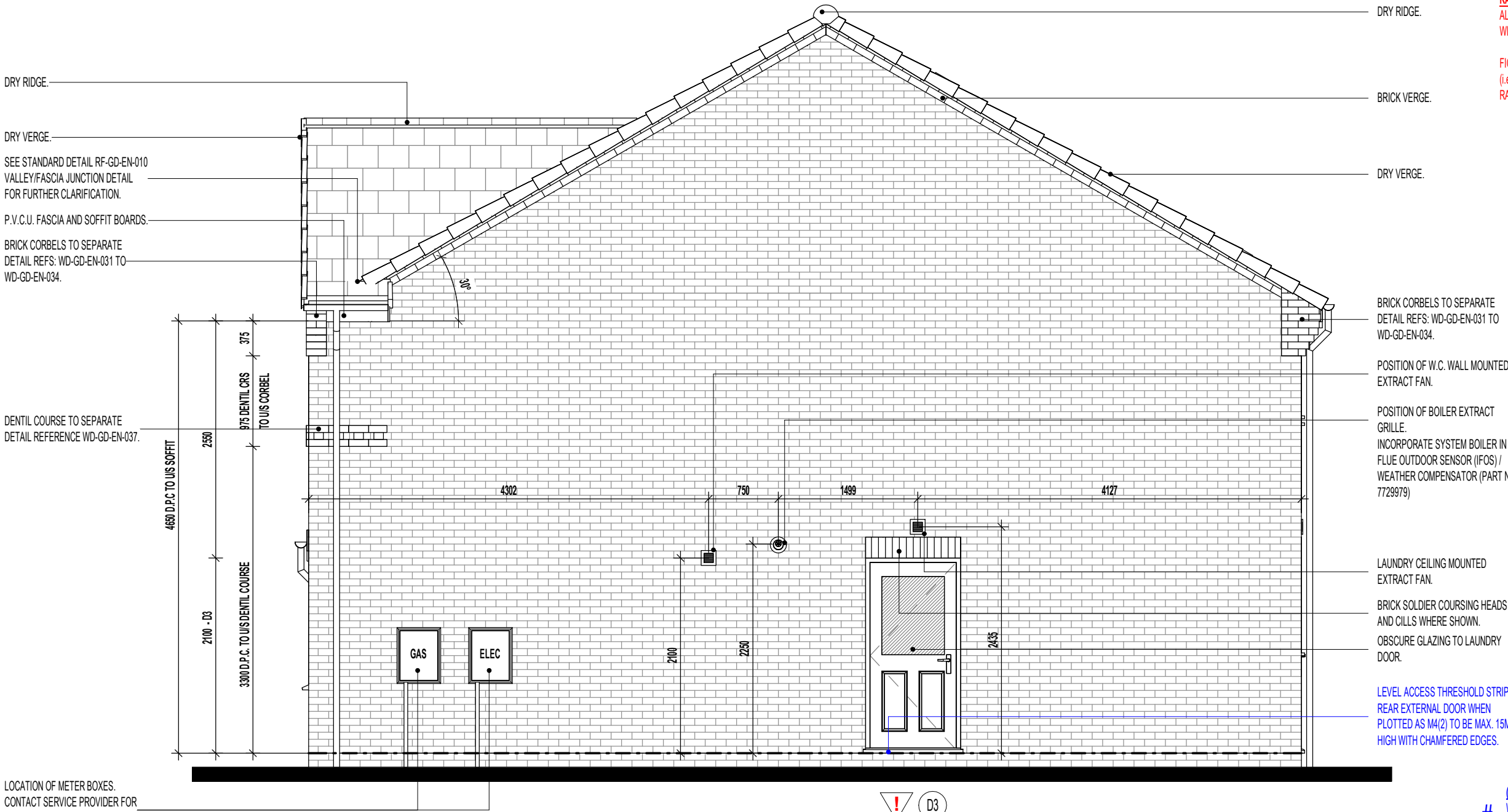
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(i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND RAINFALL DESIGN INTENSITY OF 75MM/HOUR



R.H. SIDE ELEVATION.

EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P. SCHEDULE & SPECIALIST'S DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
R.H. SIDE ELEVATION
COTTAGE OPTION 2

Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.	Revision	
L474C414		

(ITEMS SPECIFIC TO M4(2) COMPLIANCE) - GENERAL NOTE :
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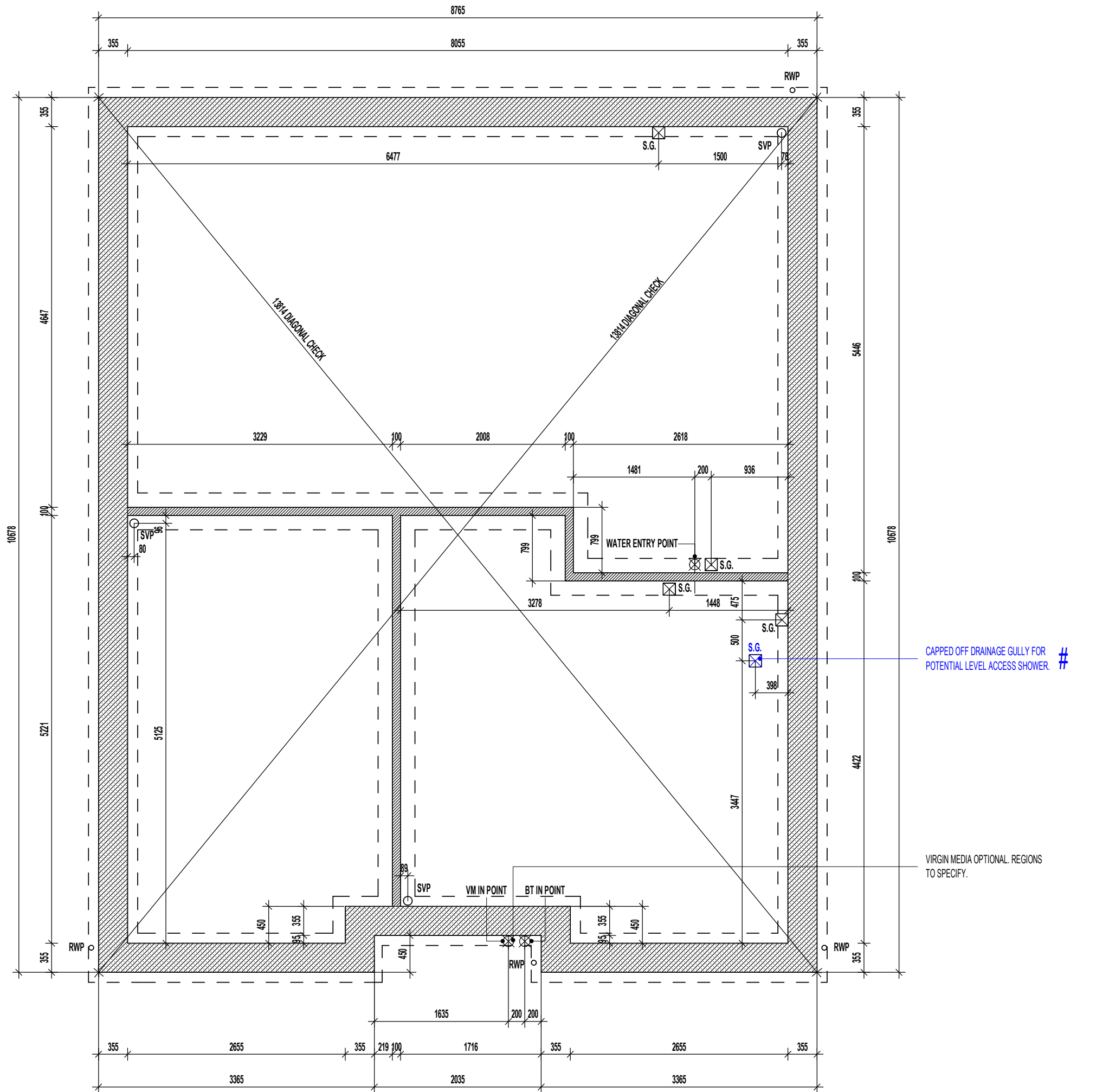
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AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

WALL LEGEND.

- DENOTES 355MM THICK 3.6N/MM² FOUNDATION BLOCKWORK
- DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.



TRENCH BLOCK FOUNDATION PLAN.

Project Title
LONDON ROAD, WOOLMER
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
TRENCH BLOCK FOUNDATION PLAN

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

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Revision Note:

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1 : 50	G.T.	06.11.23
Drawing No.	Revision	
L474101		

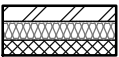
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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

WALL LEGEND.

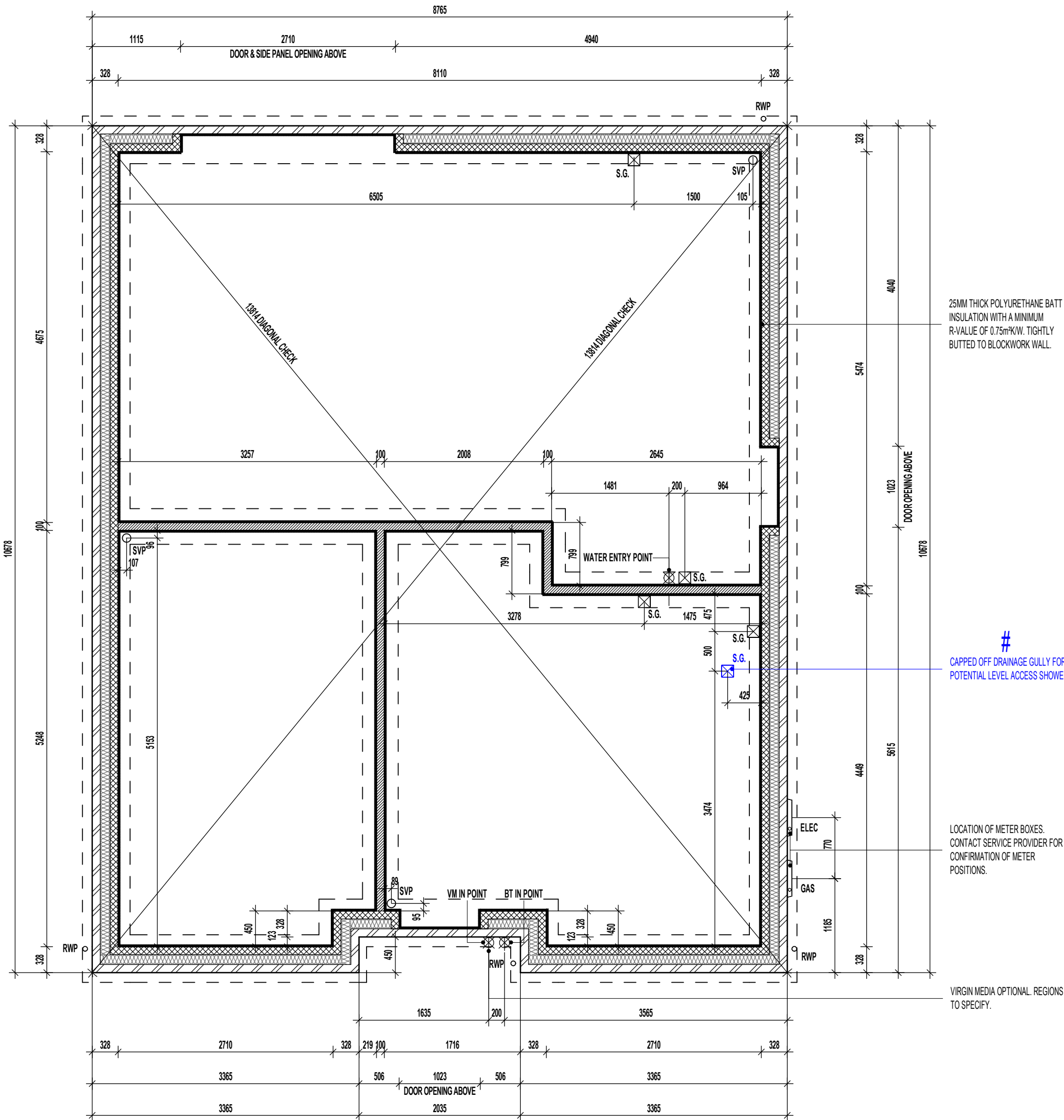
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DENOTES 328MM THICK CAVITY WALL BELOW DPC :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
- 

DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:
REFER TO DIMENSIONED G.F. PLANS FOR EXTERNAL & INTERNAL DOOR
LOCATIONS AND CROSS REFER TO ASSOCIATED STANDARD DETAILS FOR
DOOR THRESHOLD TREATMENT.



GROUND BEARING FOUNDATION PLAN.

Project Title
**LONDON ROAD, WOOLMER
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO**

Drawing Title
GROUND BEARING FOUNDATION PLAN

Revision Note:

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Drawing No.	Revision	
L474102		

(ITEMS SPECIFIC TO M4(2) COMPLIANCE) - GENERAL NOTE :
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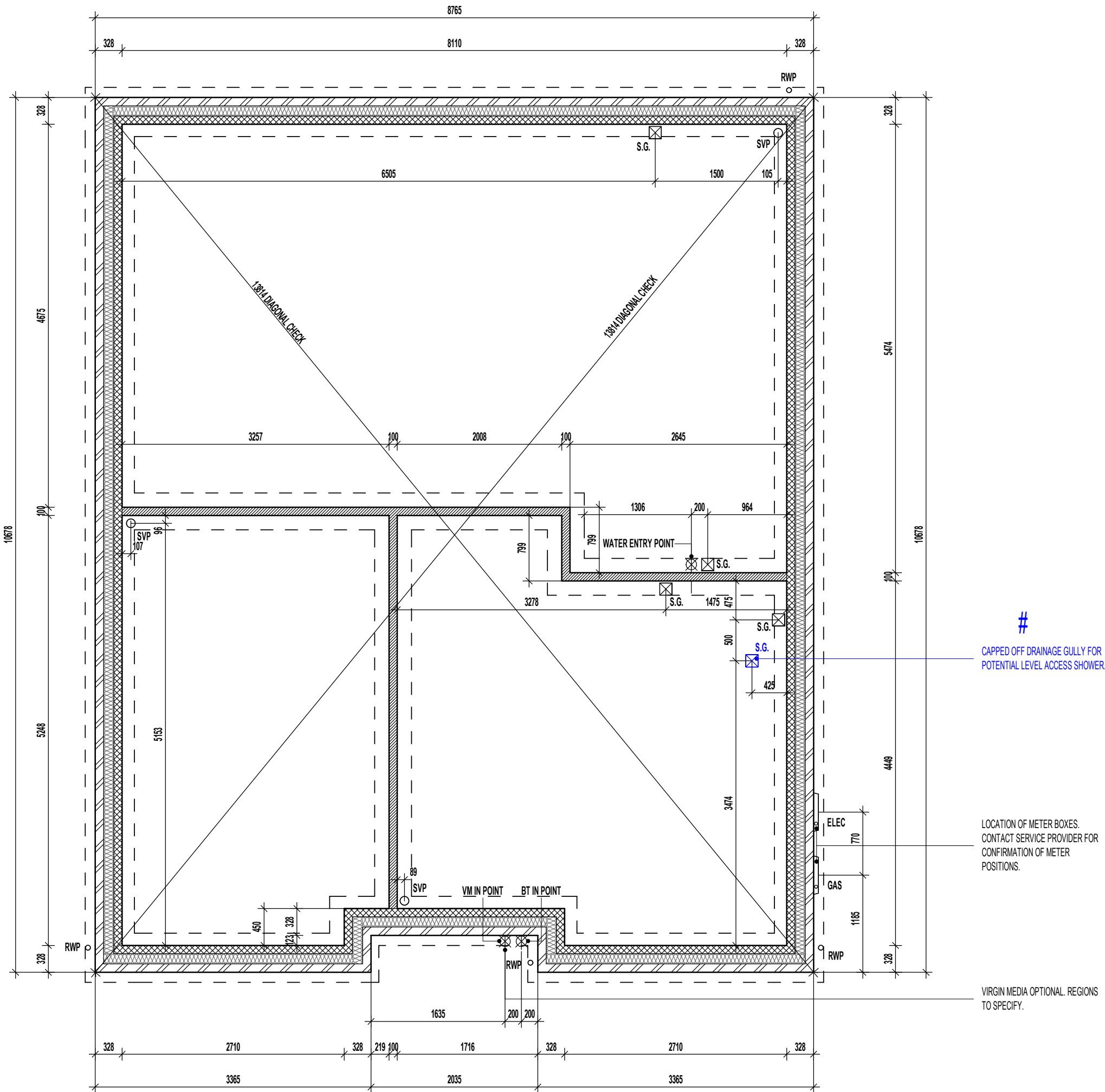
AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

WALL LEGEND.

- DENOTES 328MM THICK CAVITY WALL BELOW DPC :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
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DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:
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DOOR THRESHOLD TREATMENT.



SUSPENDED SLAB FOUNDATION PLAN.

REFER TO STRUCTURAL ENGINEERS CALCULATIONS FOR SUSPENDED SLAB THICKNESS AND STEELWORK SCHEDULE

Project Title
**LONDON ROAD, WOOLMER
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO**

Drawing Title
SUSPENDED SLAB FOUNDATION PLAN

Revision Note:

Scale

1 : 50

Drawn By

G.T.

Date

06.11.23

Drawing No.

L474103

Revision

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VENTILATION SHOULD BE PROVIDED TO PRECAST SUSPENDED FLOORS IN ACCORDANCE WITH CHAPTER 5.2.10 OF LATEST NHBC TECHNICAL STANDARDS. (GENERALLY PROVIDED BY VENTILATORS ON AT LEAST TWO OPPOSITE EXTERNAL WALLS.

WHERE SLEEPER WALLS / PARTITIONS PROVIDED, THESE SHOULD BE CONSTRUCTED WITH SUFFICIENT OPENINGS TO ENSURE ADEQUATE THROUGH VENTILATION.

VOID VENTILATION SHOULD BE PROVIDED TO WHICHEVER GIVES THE GREATER
OPENING AREA:

- 1500MM² PER METRE RUN OF EXTERNAL WALL
- 500MM² PER M² OF FLOOR AREA.

DENOTES 328MM THICK CAVITY WALL BELOW DPC :

- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/M² STANDARD AIRCRETE BLOCKWORK



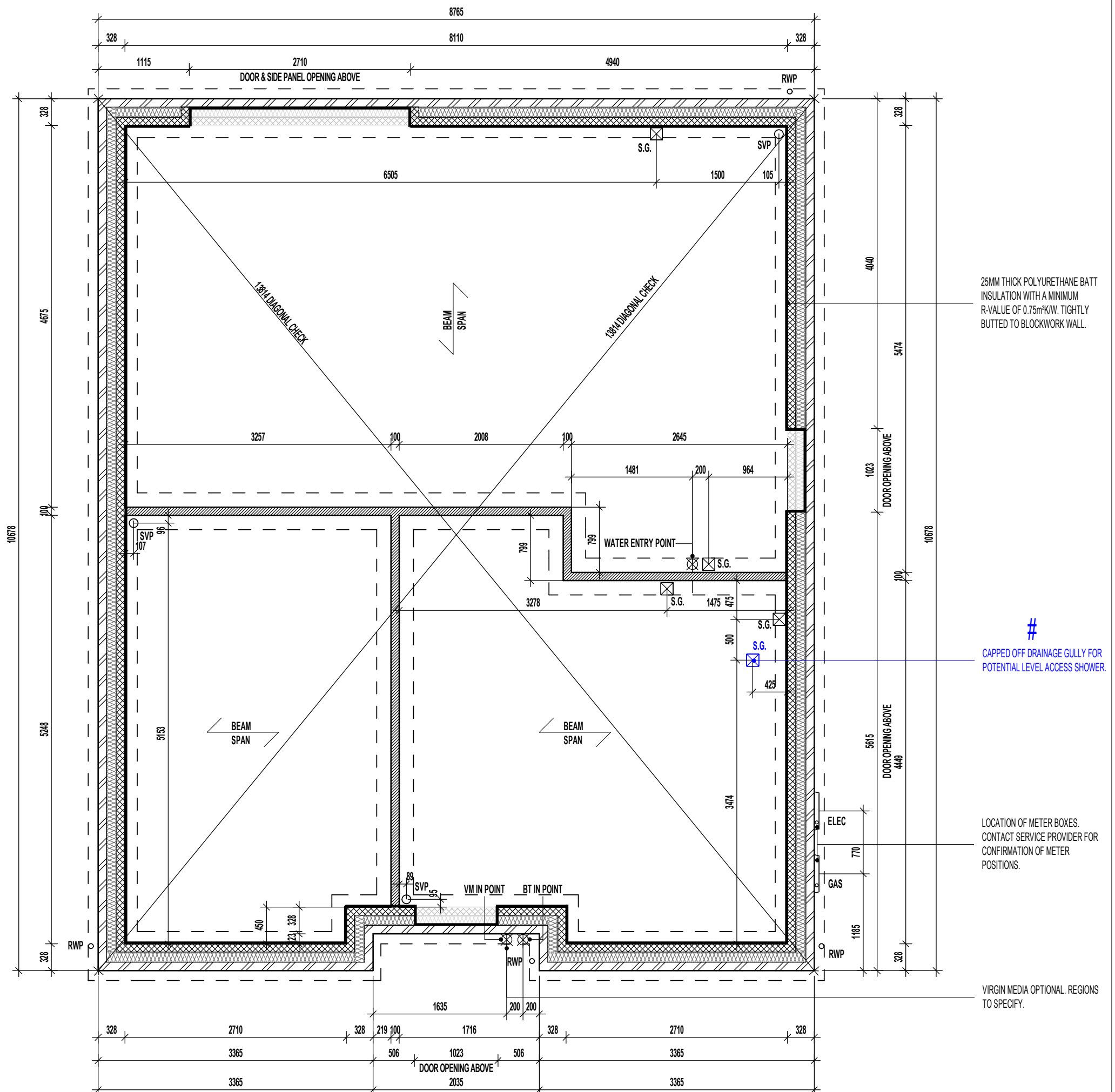
DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:

REFER TO DIMENSIONED G.F. PLANS FOR EXTERNAL & INTERNAL DOOR
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DOOR THRESHOLD TREATMENT.

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74



REFER TO MANUFACTURERS DRAWINGS FOR FURTHER INFORMATION

Project Title

LONDON ROAD, WOOLMER
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title

BEAM AND EPS FOUNDATION PLAN

	Drawing No. L474104
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Revision Note:

Scale

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	G.T.
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Date _____

06.11.23

Drawing No.

L474104

(ITEMS SPECIFIC TO M4(2) COMPLIANCE) - GENERAL NOTE :

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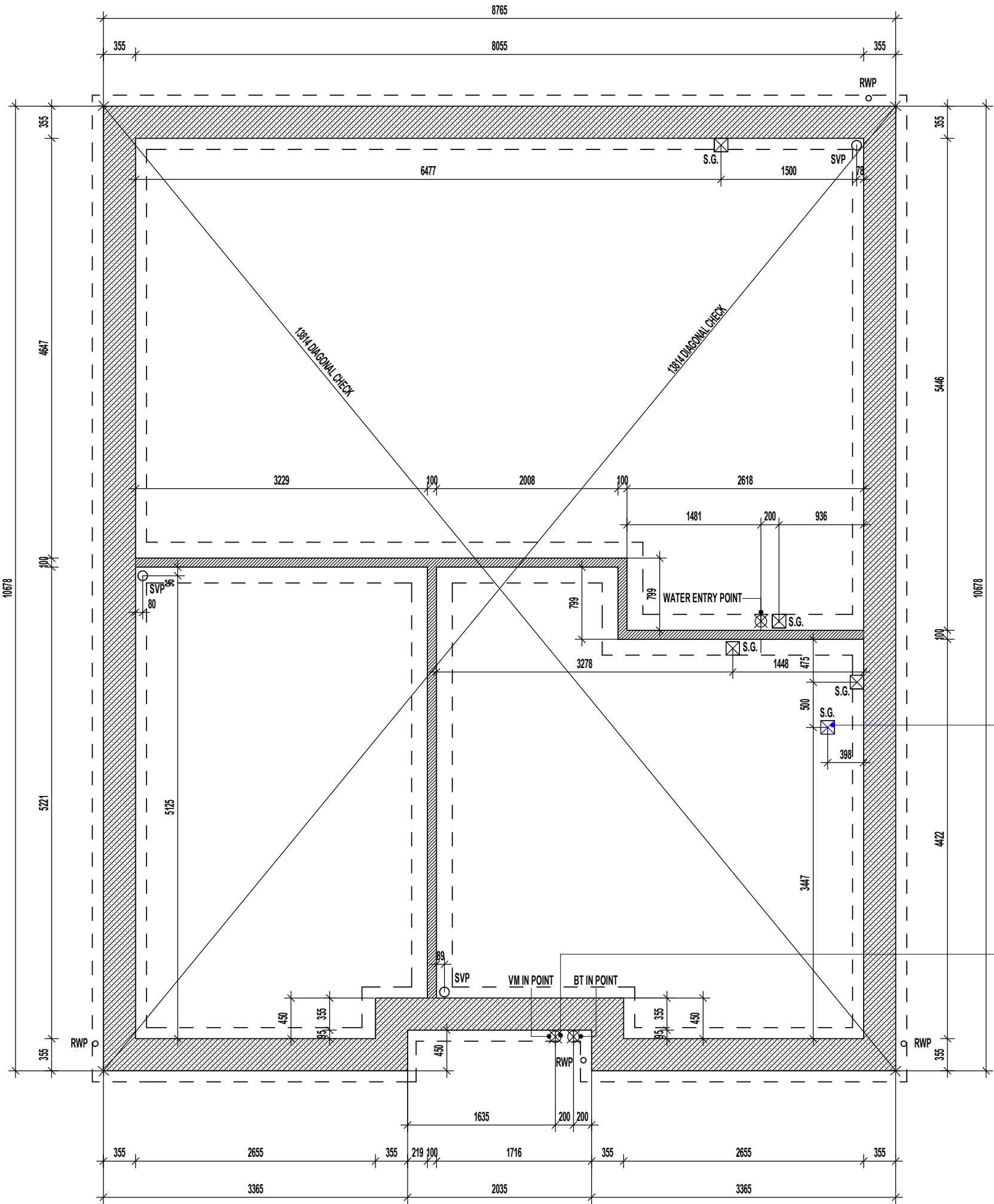
ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

WALL LEGEND.

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- DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.



CAPPED OFF DRAINAGE GULLY FOR
POTENTIAL LEVEL ACCESS SHOWER. #

VIRGIN MEDIA OPTIONAL. REGIONS
TO SPECIFY.

TRENCH BLOCK FOUNDATION PLAN.

Project Title
LONDON ROAD, WOOLMER
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
ASHP TRENCH BLOCK FOUNDATION PLAN

(ITEMS SPECIFIC TO M4(2) COMPLIANCE) - GENERAL NOTE :
WHERE DWELLING IS TO BE M4(2) COMPLIANT, ITEMS DENOTED AS
SUCH TO BE PROVIDED AS STANDARD; OTHERWISE LAYOUT SUBJECT
TO APPROVED DOC. M4(1) CRITERIA.

Revision Note:

Scale

1 : 50

Drawn By

G.T.

Date

14.03.25

Drawing No.

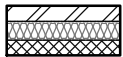
L474105

Revision

Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

WALL LEGEND.



DENOTES 328MM THICK CAVITY WALL BELOW DPC :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRECRETE BLOCKWORK

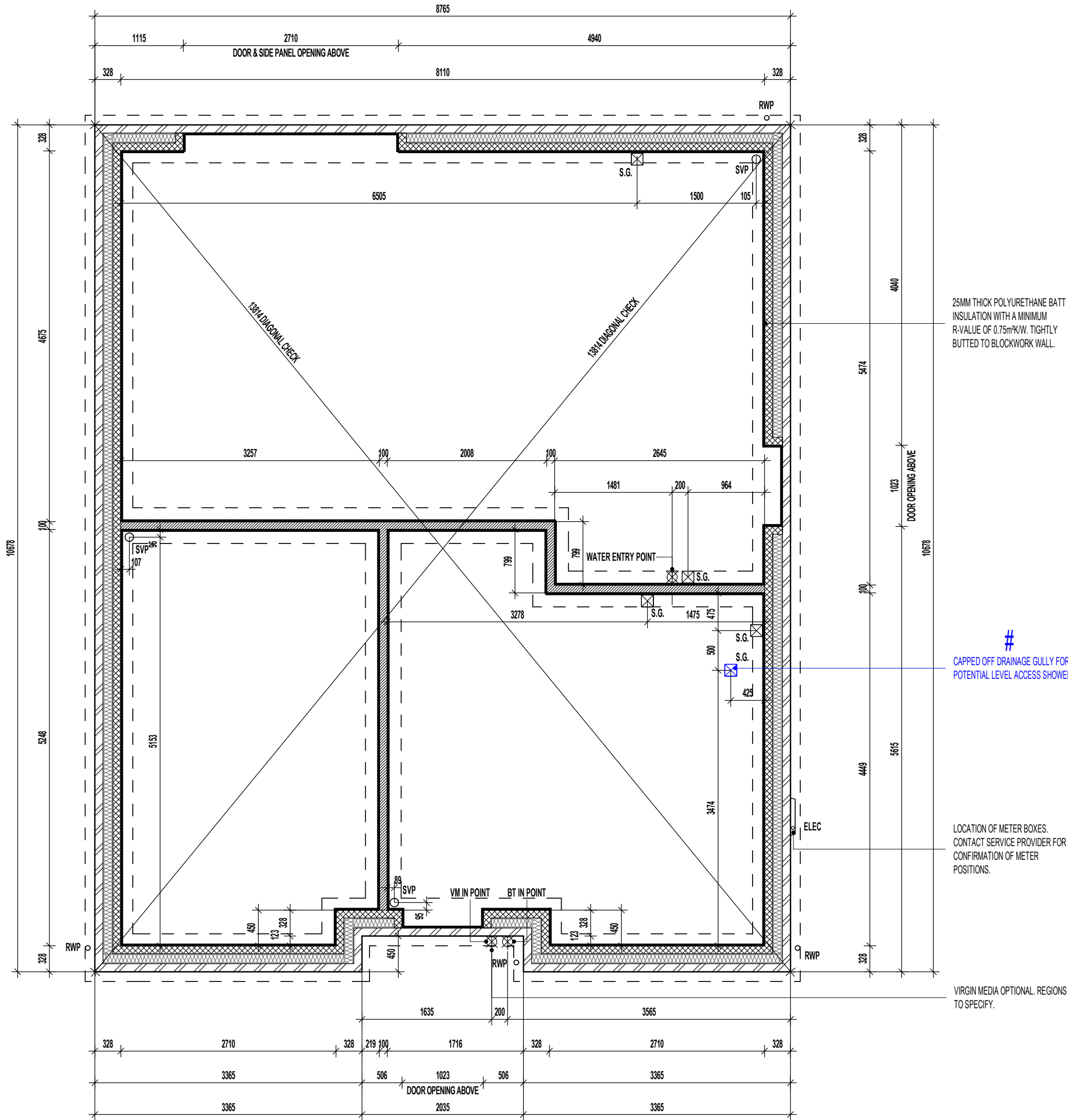


DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:

REFER TO DIMENSIONED G.F. PLANS FOR EXTERNAL & INTERNAL DOOR LOCATIONS AND CROSS REFER TO ASSOCIATED STANDARD DETAILS FOR DOOR THRESHOLD TREATMENT.



GROUND BEARING FOUNDATION PLAN.

Project Title
LONDON ROAD, WOOLMER
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
ASHP GROUND BEARING FOUNDATION PLAN

Revision Note:

Scale
1 : 50

Drawn By
G.T.

Date
14.03.25

Drawing No.
L474106

Revision

(ITEMS SPECIFIC TO M4(2) COMPLIANCE) - GENERAL NOTE :
WHERE DWELLING IS TO BE M4(2) COMPLIANT, ITEMS DENOTED AS SUCH TO BE PROVIDED AS STANDARD; OTHERWISE LAYOUT SUBJECT TO APPROVED DOC. M4(1) CRITERIA.

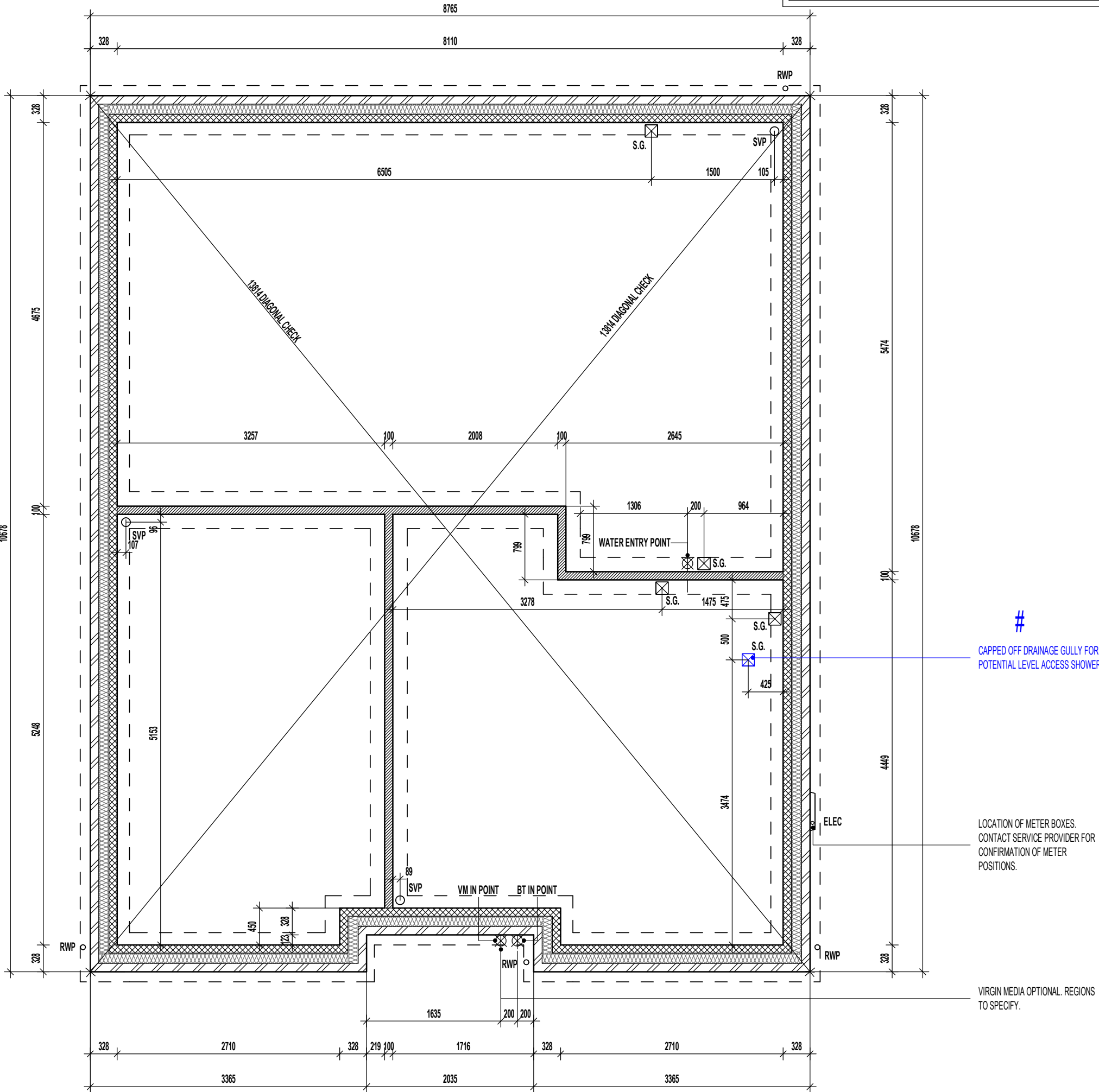
Miller Homes Ltd
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www.millerhomes.co.uk

WALL LEGEND.

- DENOTES 328MM THICK CAVITY WALL BELOW DPC :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
- DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:
REFER TO DIMENSIONED G.F. PLANS FOR EXTERNAL & INTERNAL DOOR
LOCATIONS AND CROSS REFER TO ASSOCIATED STANDARD DETAILS FOR
DOOR THRESHOLD TREATMENT.



SUSPENDED SLAB FOUNDATION PLAN.

REFER TO STRUCTURAL ENGINEERS CALCULATIONS FOR SUSPENDED SLAB THICKNESS AND STEELWORK SCHEDULE

Project Title
**LONDON ROAD, WOOLMER
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO**

Drawing Title
ASHP SUSPENDED SLAB FOUNDATION PLAN

Revision Note:

Scale
1 : 50

Drawn By
G.T.

Date
14.03.25

Drawing No.
L474107

Revision

(ITEMS SPECIFIC TO M4(2) COMPLIANCE) - GENERAL NOTE :
WHERE DWELLING IS TO BE M4(2) COMPLIANT, ITEMS DENOTED AS
SUCH TO BE PROVIDED AS STANDARD; OTHERWISE LAYOUT SUBJECT
TO APPROVED DOC. M4(1) CRITERIA.

miller homes
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BEAM & BLOCK / EPS UNDERFLOOR VOID VENTILATION

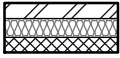
VENTILATION SHOULD BE PROVIDED TO PRECAST SUSPENDED FLOORS IN ACCORDANCE WITH CHAPTER 5.2.10 OF LATEST NHBC TECHNICAL STANDARDS . (GENERALLY PROVIDED BY VENTILATORS ON AT LEAST TWO OPPOSITE EXTERNAL WALLS.

WHERE SLEEPER WALLS / PARTITIONS PROVIDED, THESE SHOULD BE CONSTRUCTED WITH SUFFICIENT OPENINGS TO ENSURE ADEQUATE THROUGH VENTILATION.

VOID VENTILATION SHOULD BE PROVIDED TO WHICHEVER GIVES THE GREATER OPENING AREA:

- 1500MM² PER METRE RUN OF EXTERNAL WALL
- 500MM² PER M² OF FLOOR AREA.

WALL LEGEND.



DENOTES 328MM THICK CAVITY WALL BELOW DPC :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK

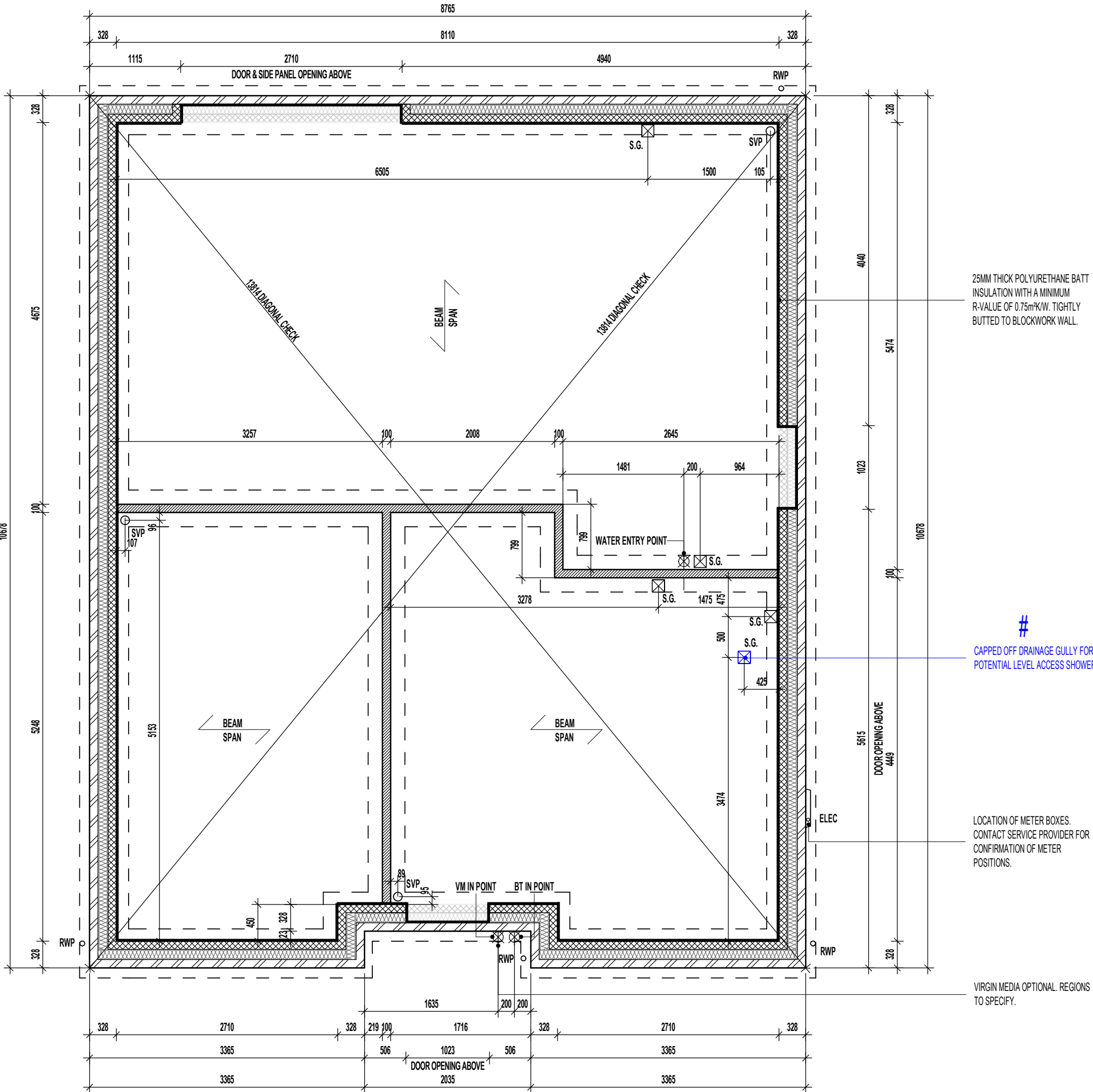


DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS. REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:

REFER TO DIMENSIONED G.F. PLANS FOR EXTERNAL & INTERNAL DOOR LOCATIONS AND CROSS REFER TO ASSOCIATED STANDARD DETAILS FOR DOOR THRESHOLD TREATMENT.



BEAM & EPS FOUNDATION PLAN. AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

REFER TO MANUFACTURERS DRAWINGS FOR FURTHER INFORMATION

Project Title
**LONDON ROAD, WOOLMER
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO**

Drawing Title
ASHP BEAM AND EPS FOUNDATION PLAN

Revision Note:

Scale
1 : 50

Drawn By
G.T.

Date
14.03.25

Drawing No.
L474108

Revision

(ITEMS SPECIFIC TO M4(2) COMPLIANCE) - GENERAL NOTE :
WHERE DWELLING IS TO BE M4(2) COMPLIANT, ITEMS DENOTED AS SUCH TO BE PROVIDED AS STANDARD; OTHERWISE LAYOUT SUBJECT TO APPROVED DOC. M4(1) CRITERIA.

millerhomes
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GENERAL NOTE
SANITARY FACILITIES (EXCLUDING ANY EN-SUITE ACCOMMODATION):
ALL WALLS, DUCTS, BOXINGS ETC. TO BE STRONG ENOUGH TO
SUPPORT GRAB RAILS / SEATS / OTHER ADAPTATIONS THAT COULD
IMPOSE LOADS UP TO 1.5KN/M²
(REFER TO STANDARD DETAIL DRAWING WD-GD-EN-038 - M4(2) GRAB
RAIL SUPPORT & ASSOCIATED STRUCTURAL CALCULATIONS)

(ITEMS SPECIFIC TO M4(2) COMPLIANCE) - GENERAL NOTE:
WHERE DWELLING IS TO BE M4(2) COMPLIANT, ITEMS DENOTED AS
SUCH TO BE PROVIDED AS STANDARD, OTHERWISE LAYOUT SUBJECT
TO APPROVED DOC. M4(1) CRITERIA.

LEVEL ACCESS THRESHOLD STRIP TO
REAR EXTERNAL DOOR WHEN
PLOTTED AS M4(2) TO BE MAX. 15MM
HIGH WITH CHAMFERED EDGES.

TIMBER STUD PARTITION BUILD-UP AS
PER WALL LEGEND. CONTINUOUS
BEADS OF GYPROC SEALANT AT
HEADS, SOLES, ABUTMENTS AND
PERIMETER SEALANT TO DOOR SETS
TO MAINTAIN ACOUSTIC
PERFORMANCE. OVERALL THICKNESS
OF THE PARTITION SHOULD SUIT A
100MM WIDE DOOR LINING. FIXINGS
TO BE IN STRICT ACCORDANCE WITH
MANUFACTURERS DETAILS.

FOR NON LOAD BEARING STUD
PARTITIONS REFER TO REGIONAL
OFFICE FOR SITE CONSTRUCTION
SPECIFICATION. PLEASE NOTE THIS
DRAWING INDICATES 63MM TIMBER
STUD PARTITION. INTERNAL ROOM
DIMENSIONS MAY VARY DEPENDING
UPON STUD PARTITION
SPECIFICATION.

FULL HEIGHT SVP BOXING.
SVP WRAPPED WITH MIN. 25MM
MINERAL FIBRE INSULATION &
BOARDED WITH 2 No. LAYERS OF
12.5MM GYPROC WALLBOARD.

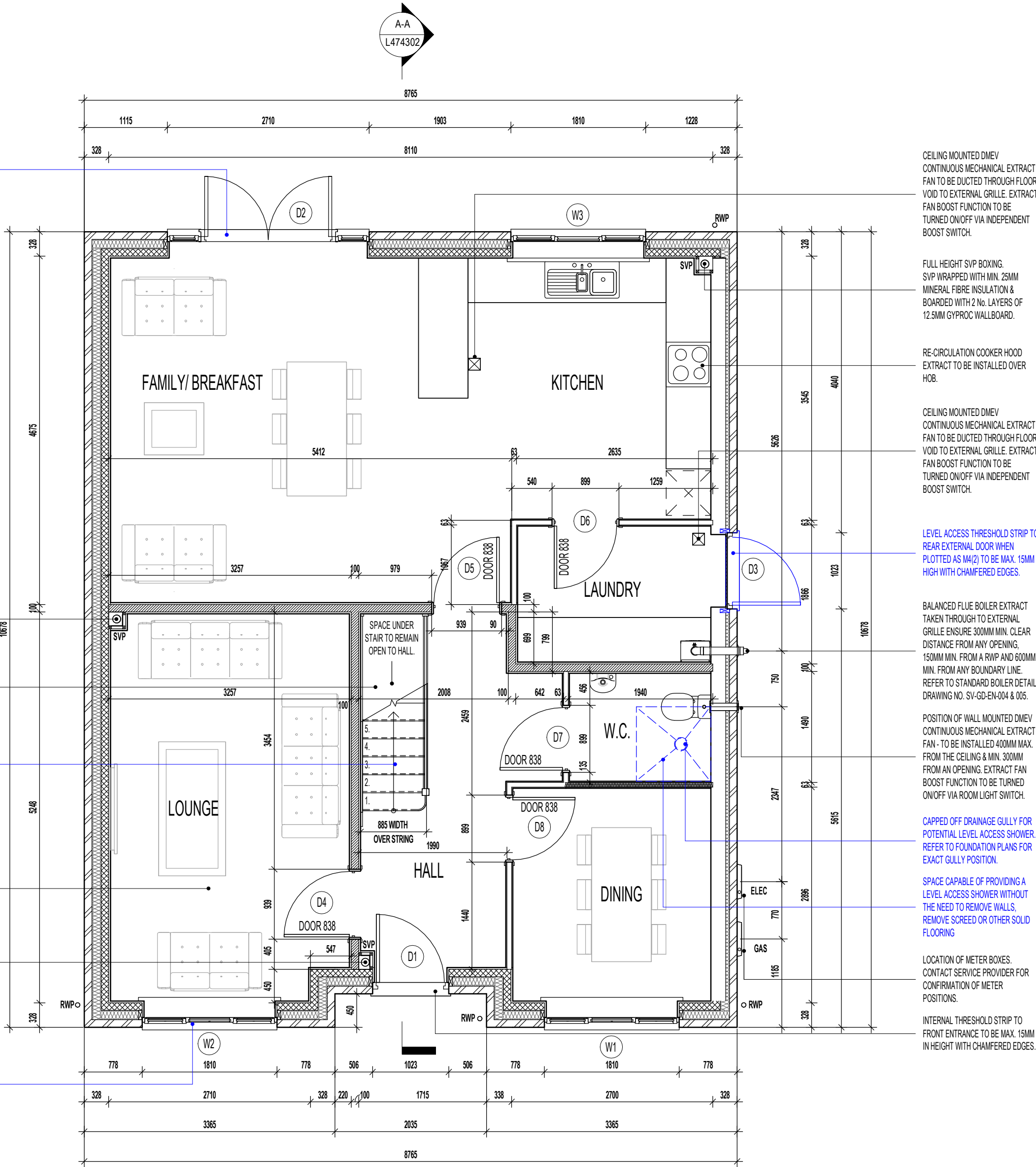
CEILING TO UNDERSIDE OF
STAIRCASE TO RECEIVE 1NO. LAYER
OF 15MM GYPROC WALLBOARD
(9.8kg/m²).

M4(2) COMPLIANT STAIRCASE MIN.
850MM CLEAR WIDTH MEASURED
450MM ABOVE PITCH LINE.

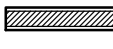
CEILINGS THROUGHOUT LIVING
AREAS OF GROUND FLOOR TO BE
PROVIDED WITH 15MM GYPROC
WALLBOARD (9.8kg/m²).

FULL HEIGHT SVP BOXING.
SVP WRAPPED WITH MIN. 25MM
MINERAL FIBRE INSULATION &
BOARDED WITH 2 No. LAYERS OF
12.5MM GYPROC WALLBOARD.

ENSURE FIXED PANE GLAZING TO
PRINCIPAL LIVING AREA WINDOW
COMMENCES AT +850MM MIN. FROM
FFL ON M4(2) / M4(3) COMPLIANT
PLOTS

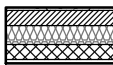


WALL LEGEND.

-  DENOTES 353MM THICK CAVITY WALL :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6NMMF STANDARD AIRCRETE BLOCKWORK
- 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH
-  DENOTES 150MM THICK LOAD BEARING PARTITION WALL :
- 12.5MM GYPROC WALLBOARD DRYLINING ON DABS WITH NOMINAL SKIM FINISH
- 100MM THICK 3.6NMMF LIGHTWEIGHT AGGREGATE BLOCKWORK
- 12.5MM GYPROC WALLBOARD DRYLINING ON DABS WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD ON DABS.
-  DENOTES 93MM THICK NON LOAD BEARING PARTITION WALL :
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
- 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.

ELEVATIONAL TREATMENT -

REFER TO RELEVANT HOUSE TYPE ELEVATIONS FOR ELEVATIONAL TREATMENT AND
EXTENT OF ALTERNATIVE EXTERNAL WALL CONSTRUCTION.

-  370MM THICK BLOCKWORK CAVITY WALL CONSTRUCTION:
SEE ELEVATIONS FOR EXTERNAL WALL FINISH & LOCATIONS

- EXTERNAL WALL FINISHES: MIN. 20MM WEBER MONOCOUCHE RENDER APPLIED TO SUBSTRATE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
- 100MM THICK 3.6NMMF LIGHTWEIGHT AGGREGATE BLOCKWORK.
- 125MM WIDE INSULATED CAVITY.
- 100MM THICK 3.6NMMF STANDARD AIRCRETE BLOCKWORK.
- 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH.

VERTICAL MOVEMENT JOINT TO BE INSTALLED AT JUNCTIONS BETWEEN
BRICKWORK AND BLOCKWORK EXTERNAL SKIN. REFER TO ELEVATIONS FOR
LOCATIONS.

GROUND FLOOR PLAN.

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

Project Title
**LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO**

Drawing Title
GROUND FLOOR PLAN

Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.	Revision	
L474201		

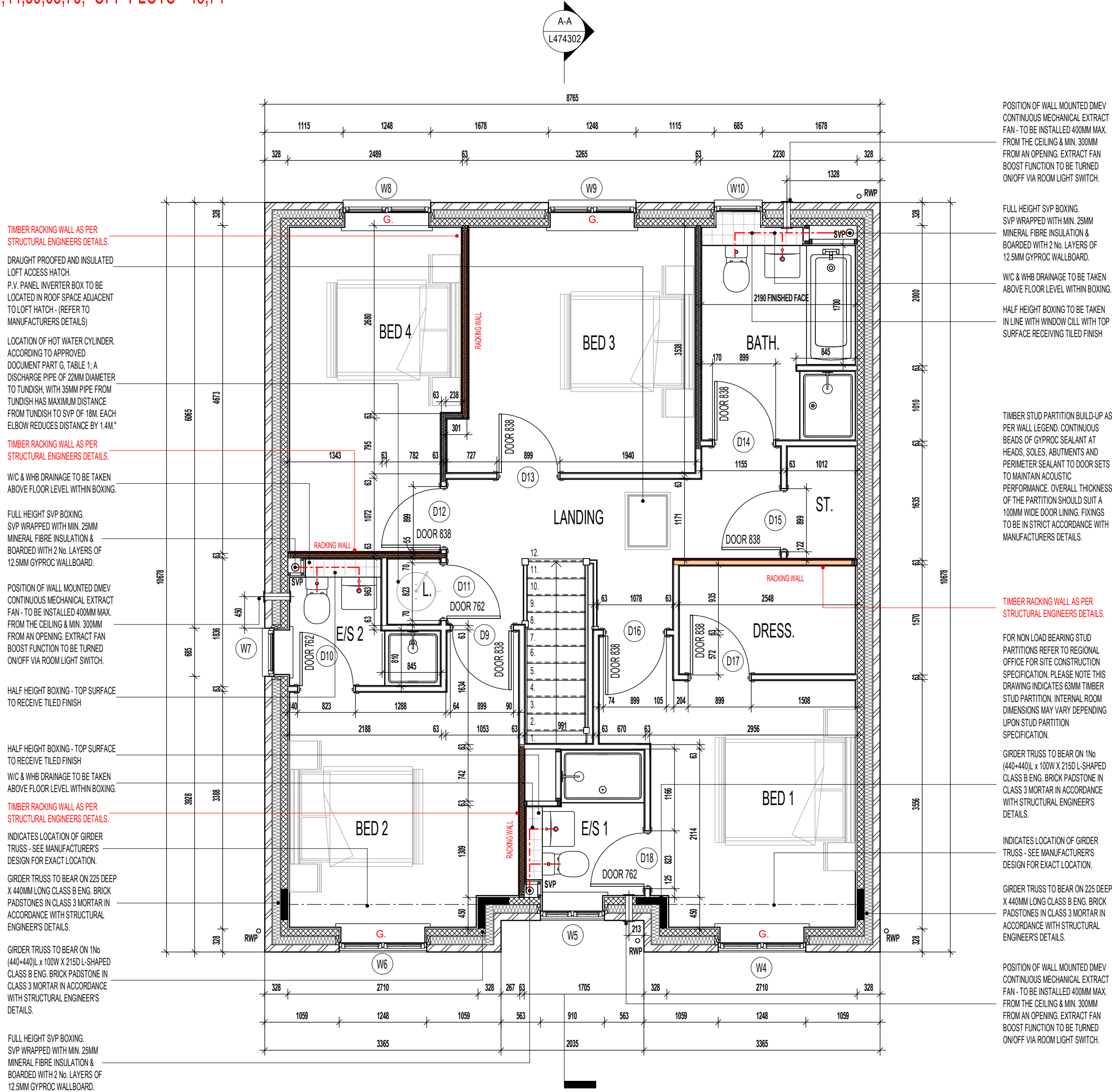
millerhomes
Miller Homes Ltd
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Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING

NOTE:
PROVISION OF SWIFT NEST BOXES TO BE BUILT- INTO EXTERNAL WALL CONSTRUCTION IF REQUIRED, (SUBJECT TO PLOTS / PREFERRED ELEVATION LOCATIONS DENOTED ON PROJECT MATERIALS LAYOUT)

REFER TO SEPARATE SWIFT BRICK LOCATIONS DRAWING FOR ACCEPTABLE POSITIONS FOR PROPRIETARY PRODUCT INSTALLATION.

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74



FIRST FLOOR PLAN.

WALL LEGEND.

- DENOTES 353MM THICK CAVITY WALL :
 - 102.5MM FACING BRICKWORK
 - 125MM WIDE INSULATED CAVITY
 - 100MM THICK 3.6N/M² STANDARD AIRCRETE BLOCKWORK
 - 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH
- DENOTES 93MM THICK NON LOAD BEARING PARTITION WALL :
 - 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
 - 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
 - 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
 - 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
 - NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.
- DENOTES 105MM THICK STRUCTURAL RACKING WALL :
 - 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
 - 12MM PLYWOOD SHEATHING (TO BED 3, BED 4, E/S 1 & LANDING SIDES ONLY)
 - 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
 - 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
 - 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
 - NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.
 - NOTE: END STUDS FIXED TO BLOCKWORK WITH RESIN ANCHORS @ MAX. 450MM VERTICAL CENTRES.

ELEVATIONAL TREATMENT-

REFER TO RELEVANT HOUSE TYPE ELEVATIONS FOR ELEVATIONAL TREATMENT AND EXTENT OF ALTERNATIVE EXTERNAL WALL CONSTRUCTION.

- 370MM THICK BLOCKWORK CAVITY WALL CONSTRUCTION: SEE ELEVATIONS FOR EXTERNAL WALL FINISH & LOCATIONS
- EXTERNAL WALL FINISHES:** MIN. 20MM WEBER MONOCOUCHE RENDER APPLIED TO SUBSTRATE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.
 - 100MM THICK 3.6N/M² LIGHTWEIGHT AGGREGATE BLOCKWORK.
 - 125MM WIDE INSULATED CAVITY.
 - 100MM THICK 3.6N/M² STANDARD AIRCRETE BLOCKWORK.
 - 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH.
- VERTICAL MOVEMENT JOINT TO BE INSTALLED AT JUNCTIONS BETWEEN BRICKWORK AND BLOCKWORK EXTERNAL SKIN. REFER TO ELEVATIONS FOR LOCATIONS.

ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS: -

ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED FOR AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

GENERAL NOTE
SANITARY FACILITIES (EXCLUDING ANY EN-SUITE ACCOMMODATION):
ALL WALLS, DUCTS, BOXINGS ETC. TO BE STRONG ENOUGH TO SUPPORT GRAB RAILS / SEATS / OTHER ADAPTATIONS THAT COULD IMPOSE LOADS UP TO 1.5KN/MF
(REFER TO STANDARD DETAIL DRAWING WD-GD-EN-038 - M4(2) GRAB RAIL SUPPORT & ASSOCIATED STRUCTURAL CALCULATIONS)

G. GUARDING TO BE PROVIDED AT 1100MM FROM FFL.
NOTE: GUARDING MAY BE OMITTED IF BUILD TOLERANCE TO WINDOW OPENING IS WITHIN A RANGE OF MAXIMUM 1100MM AND MINIMUM 1000MM

Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.	Revision	
L474202		

Project Title
**LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO**

Drawing Title
FIRST FLOOR PLAN

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Miller Homes Ltd
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www.millerhomes.co.uk

ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING

GENERAL NOTE
SANITARY FACILITIES (EXCLUDING ANY EN-SUITE ACCOMMODATION):
ALL WALLS, DUCTS, BOXINGS ETC. TO BE STRONG ENOUGH TO
SUPPORT GRAB RAILS / SEATS / OTHER ADAPTATIONS THAT COULD
IMPOSE LOADS UP TO 1.5KN/M²
(REFER TO STANDARD DETAIL DRAWING WD-GD-EN-038 - M4(2) GRAB
RAIL SUPPORT & ASSOCIATED STRUCTURAL CALCULATIONS)

(ITEMS SPECIFIC TO M4(2) COMPLIANCE) - GENERAL NOTE:
WHERE DWELLING IS TO BE M4(2) COMPLIANT, ITEMS DENOTED AS
SUCH TO BE PROVIDED AS STANDARD; OTHERWISE LAYOUT SUBJECT
TO APPROVED DOC. M4(1) CRITERIA.

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

LEVEL ACCESS THRESHOLD STRIP TO
REAR EXTERNAL DOOR WHEN
PLOTTED AS M4(2) TO BE MAX. 15MM
HIGH WITH CHAMFERED EDGES.

TIMBER STUD PARTITION BUILD-UP AS
PER WALL LEGEND. CONTINUOUS
BEADS OF GYPROC SEALANT AT
HEADS, SOLES, ABUTMENTS AND
PERIMETER SEALANT TO DOOR SETS
TO MAINTAIN ACOUSTIC
PERFORMANCE. OVERALL THICKNESS
OF THE PARTITION SHOULD SUIT A
100MM WIDE DOOR LINING. FIXINGS
TO BE IN STRICT ACCORDANCE WITH
MANUFACTURERS DETAILS.

FOR NON LOAD BEARING STUD
PARTITIONS REFER TO REGIONAL
OFFICE FOR SITE CONSTRUCTION
SPECIFICATION. PLEASE NOTE THIS
DRAWING INDICATES 63MM TIMBER
STUD PARTITION. INTERNAL ROOM
DIMENSIONS MAY VARY DEPENDING
UPON STUD PARTITION
SPECIFICATION.

FULL HEIGHT SVP BOXING.
SVP WRAPPED WITH MIN. 25MM
MINERAL FIBRE INSULATION &
BOARDED WITH 2 No. LAYERS OF
12.5MM GYPROC WALLBOARD.

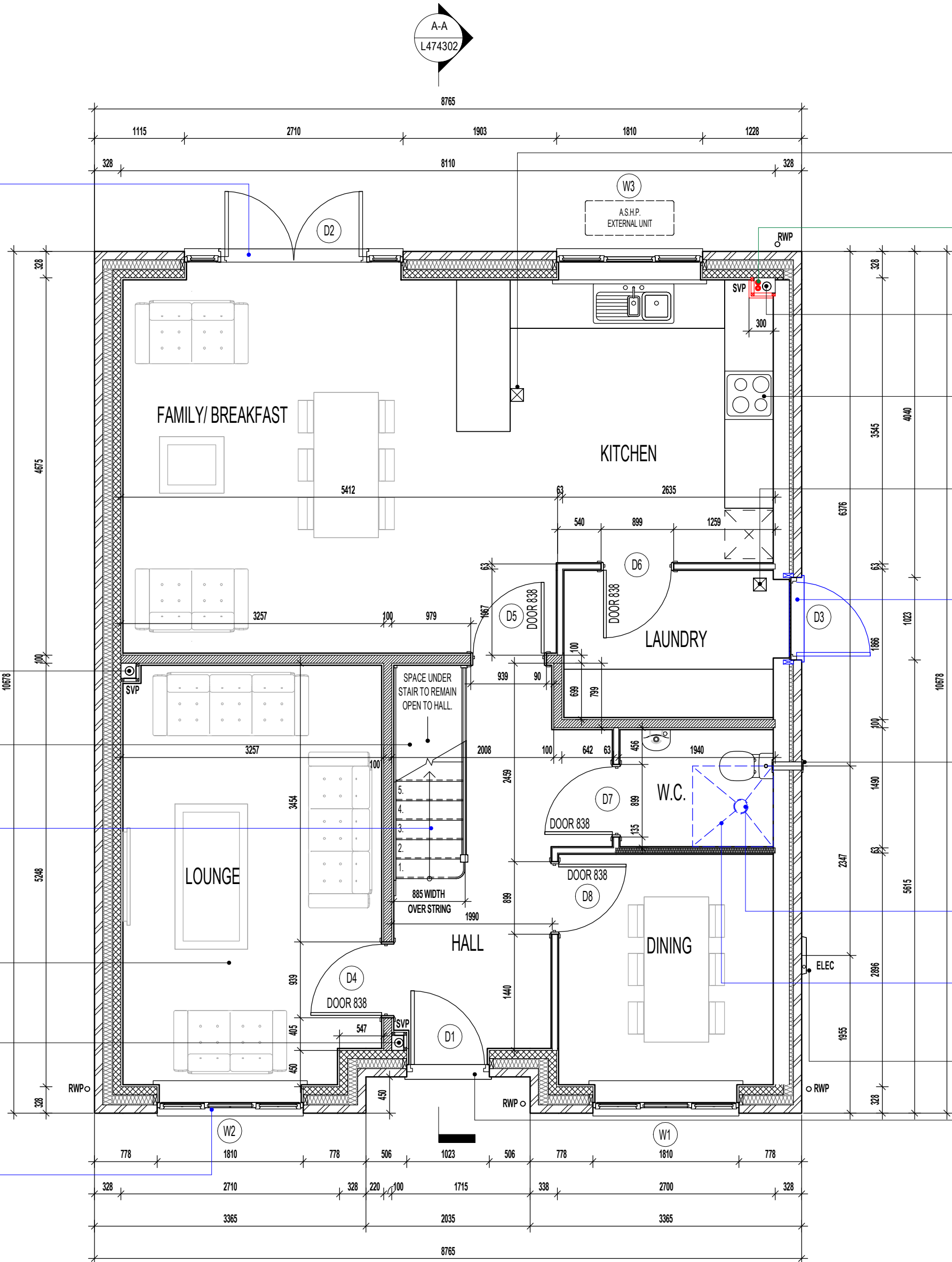
CEILING TO UNDERSIDE OF
STAIRCASE TO RECEIVE 1NO. LAYER
OF 15MM GYPROC WALLBOARD
(9.8kg/m²).

M4(2) COMPLIANT STAIRCASE MIN.
850MM CLEAR WIDTH MEASURED
450MM ABOVE PITCH LINE.

CEILINGS THROUGHOUT LIVING
AREAS OF GROUND FLOOR TO BE
PROVIDED WITH 15MM GYPROC
WALLBOARD (9.8kg/m²).

FULL HEIGHT SVP BOXING.
SVP WRAPPED WITH MIN. 25MM
MINERAL FIBRE INSULATION &
BOARDED WITH 2 No. LAYERS OF
12.5MM GYPROC WALLBOARD.

ENSURE FIXED PANE GLAZING TO
PRINCIPAL LIVING AREA WINDOW
COMMENCES AT ~850MM MIN. FROM
F.F.L ON M4(2) / M4(3) COMPLIANT
PLOTS



CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA INDEPENDENT
BOOST SWITCH.

SVP BOXING TO BE 300MM AS
DENOTED TO ENCLOSE ASHP FLOW
AND RETURN INSULATED PIPEWORK.

FULL HEIGHT SVP BOXING.
SVP WRAPPED WITH MIN. 25MM
MINERAL FIBRE INSULATION &
BOARDED WITH 2 No. LAYERS OF
12.5MM GYPROC WALLBOARD.

RE-CIRCULATION COOKER HOOD
EXTRACT TO BE INSTALLED OVER
HOB.

CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA INDEPENDENT
BOOST SWITCH.

LEVEL ACCESS THRESHOLD STRIP TO
REAR EXTERNAL DOOR WHEN
PLOTTED AS M4(2) TO BE MAX. 15MM
HIGH WITH CHAMFERED EDGES.

POSITION OF WALL MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN - TO BE INSTALLED 400MM MAX.
FROM THE CEILING & MIN. 300MM
FROM AN OPENING. EXTRACT FAN
BOOST FUNCTION TO BE TURNED
ON/OFF VIA ROOM LIGHT SWITCH.

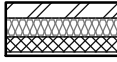
CAPPED OFF DRAINAGE GULLY FOR
POTENTIAL LEVEL ACCESS SHOWER.
REFER TO FOUNDATION PLANS FOR
EXACT GULLY POSITION.

SPACE CAPABLE OF PROVIDING A
LEVEL ACCESS SHOWER WITHOUT
THE NEED TO REMOVE WALLS.
REMOVE SCREED OR OTHER SOLID
FLOORING

LOCATION OF METER BOXES.
CONTACT SERVICE PROVIDER FOR
CONFIRMATION OF METER
POSITIONS.

INTERNAL THRESHOLD STRIP TO
FRONT ENTRANCE TO BE MAX. 15MM
IN HEIGHT WITH CHAMFERED EDGES.

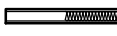
WALL LEGEND.



DENOTES 35MM THICK CAVITY WALL :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.8NM/M² STANDARD AIRCRETE BLOCKWORK
- 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH



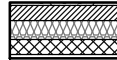
DENOTES 150MM THICK LOAD BEARING PARTITION WALL :
- 12.5MM GYPROC WALLBOARD DRYLINING ON DABS WITH NOMINAL SKIM FINISH
- 100MM THICK 3.8NM/M² LIGHTWEIGHT AGGREGATE BLOCKWORK
- 12.5MM GYPROC WALLBOARD DRYLINING ON DABS WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD ON DABS.



DENOTES 93MM THICK NON LOAD BEARING PARTITION WALL :
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
- 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.

ELEVATIONAL TREATMENT -

REFER TO RELEVANT HOUSE TYPE ELEVATIONS FOR ELEVATIONAL TREATMENT AND
EXTENT OF ALTERNATIVE EXTERNAL WALL CONSTRUCTION.



370MM THICK BLOCKWORK CAVITY WALL CONSTRUCTION:
SEE ELEVATIONS FOR EXTERNAL WALL FINISH & LOCATIONS

• EXTERNAL WALL FINISHES: MIN. 20MM WEBER MONOCOUCHE RENDER APPLIED
TO SUBSTRATE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
- 100MM THICK 3.8NM/M² LIGHTWEIGHT AGGREGATE BLOCKWORK.
- 125MM WIDE INSULATED CAVITY.
- 100MM THICK 3.8NM/M² STANDARD AIRCRETE BLOCKWORK.
- 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH.

VERTICAL MOVEMENT JOINT TO BE INSTALLED AT JUNCTIONS BETWEEN
BRICKWORK AND BLOCKWORK EXTERNAL SKIN. REFER TO ELEVATIONS FOR
LOCATIONS.

GROUND FLOOR PLAN.

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
ASHP GROUND FLOOR PLAN

Revision Note:

Scale
1 : 50

Drawn By
G.T.

Date
14.03.25

Drawing No.
L474205

Revision

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ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING

NOTE:
PROVISION OF SWIFT NEST BOXES TO BE BUILT- INTO EXTERNAL WALL CONSTRUCTION IF REQUIRED, (SUBJECT TO PLOTS / PREFERRED ELEVATION LOCATIONS DEVOTED ON PROJECT MATERIALS LAYOUT)

REFER TO SEPARATE SWIFT BRICK LOCATIONS DRAWING FOR ACCEPTABLE POSITIONS FOR PROPRIETARY PRODUCT INSTALLATION.

TIMBER RACKING WALL AS PER STRUCTURAL ENGINEERS DETAILS.

DRAUGHT PROOFED AND INSULATED LOFT ACCESS HATCH.
P.V. PANEL INVERTER BOX TO BE LOCATED IN ROOF SPACE ADJACENT TO LOFT HATCH - (REFER TO MANUFACTURERS DETAILS)

INDEPENDENT 32MM POLYPROPYLENE DISCHARGE PIPE TO BS 5254 OR BS EN 1451. PIPE TO RUN TO SVP CONNECTION ONLY

TIMBER RACKING WALL AS PER STRUCTURAL ENGINEERS DETAILS.

WIC & WHB DRAINAGE TO BE TAKEN ABOVE FLOOR LEVEL WITHIN BOXING.

FULL HEIGHT SVP BOXING. SVP WRAPPED WITH MIN. 25MM MINERAL FIBRE INSULATION & BOARDED WITH 2 No. LAYERS OF 12.5MM GYPROC WALLBOARD.

POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED 400MM MAX. FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.

HALF HEIGHT BOXING - TOP SURFACE TO RECEIVE TILED FINISH

HALF HEIGHT BOXING - TOP SURFACE TO RECEIVE TILED FINISH

WIC & WHB DRAINAGE TO BE TAKEN ABOVE FLOOR LEVEL WITHIN BOXING.

TIMBER RACKING WALL AS PER STRUCTURAL ENGINEERS DETAILS.

INDICATES LOCATION OF GIRDER TRUSS - SEE MANUFACTURERS DESIGN FOR EXACT LOCATION.

GIRDER TRUSS TO BEAR ON 225 DEEP X 440MM LONG CLASS B ENG. BRICK PADSTONES IN CLASS 3 MORTAR IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS.

GIRDER TRUSS TO BEAR ON 1No (440-440)L x 100W X 215D L-SHAPED CLASS B ENG. BRICK PADSTONE IN CLASS 3 MORTAR IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS.

FULL HEIGHT SVP BOXING. SVP WRAPPED WITH MIN. 25MM MINERAL FIBRE INSULATION & BOARDED WITH 2 No. LAYERS OF 12.5MM GYPROC WALLBOARD.

B-B
L474303

A-A
L474302



POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED 400MM MAX. FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.

FULL HEIGHT SVP BOXING. SVP WRAPPED WITH MIN. 25MM MINERAL FIBRE INSULATION & BOARDED WITH 2 No. LAYERS OF 12.5MM GYPROC WALLBOARD.

WIC & WHB DRAINAGE TO BE TAKEN ABOVE FLOOR LEVEL WITHIN BOXING.

HALF HEIGHT BOXING TO BE TAKEN IN LINE WITH WINDOW CILL WITH TOP SURFACE RECEIVING TILED FINISH

TIMBER STUD PARTITION BUILD-UP AS PER WALL LEGEND. CONTINUOUS BEADS OF GYPROC SEALANT AT HEADS, SOLES, ABUTMENTS AND PERIMETER SEALANT TO DOOR SETS TO MAINTAIN ACOUSTIC PERFORMANCE. OVERALL THICKNESS OF THE PARTITION SHOULD SUIT A 100MM WIDE DOOR LINING. FIXINGS TO BE IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS.

FOR NON LOAD BEARING STUD PARTITIONS REFER TO REGIONAL OFFICE FOR SITE CONSTRUCTION SPECIFICATION. PLEASE NOTE THIS DRAWING INDICATES 63MM TIMBER STUD PARTITION. INTERNAL ROOM DIMENSIONS MAY VARY DEPENDING UPON STUD PARTITION SPECIFICATION.

GIRDER TRUSS TO BEAR ON 1No (440-440)L x 100W X 215D L-SHAPED CLASS B ENG. BRICK PADSTONE IN CLASS 3 MORTAR IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS.

INDICATES LOCATION OF GIRDER TRUSS - SEE MANUFACTURERS DESIGN FOR EXACT LOCATION.

GIRDER TRUSS TO BEAR ON 225 DEEP X 440MM LONG CLASS B ENG. BRICK PADSTONES IN CLASS 3 MORTAR IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS.

POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED 400MM MAX. FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.

WALL LEGEND.

- DENOTES 353MM THICK CAVITY WALL :
 - 102.5MM FACING BRICKWORK
 - 125MM WIDE INSULATED CAVITY
 - 100MM THICK 3.6N/MF STANDARD AIRCRETE BLOCKWORK
 - 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH
- DENOTES 93MM THICK NON LOAD BEARING PARTITION WALL :
 - 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
 - 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
 - 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
 - 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
 - NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.
- DENOTES 105MM THICK STRUCTURAL RACKING WALL :
 - 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
 - 12MM PLYWOOD SHEATHING (TO BED 3, BED 4, E/S 1 & LANDING SIDES ONLY)
 - 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
 - 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
 - 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
 - NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.
 - NOTE: END STUDS FIXED TO BLOCKWORK WITH RESIN ANCHORS @ MAX. 450MM VERTICAL CENTRES.

ELEVATIONAL TREATMENT-

REFER TO RELEVANT HOUSE TYPE ELEVATIONS FOR ELEVATIONAL TREATMENT AND EXTENT OF ALTERNATIVE EXTERNAL WALL CONSTRUCTION.

- 370MM THICK BLOCKWORK CAVITY WALL CONSTRUCTION:
 SEE ELEVATIONS FOR EXTERNAL WALL FINISH & LOCATIONS
- EXTERNAL WALL FINISHES: MIN. 20MM WEBER MONOCOUCHE RENDER APPLIED TO SUBSTRATE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
 - 100MM THICK 3.6N/MF LIGHTWEIGHT AGGREGATE BLOCKWORK.
 - 125MM WIDE INSULATED CAVITY.
 - 100MM THICK 3.6N/MF STANDARD AIRCRETE BLOCKWORK.
 - 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH.
- VERTICAL MOVEMENT JOINT TO BE INSTALLED AT JUNCTIONS BETWEEN BRICKWORK AND BLOCKWORK EXTERNAL SKIN. REFER TO ELEVATIONS FOR LOCATIONS.

ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS: -

ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED FOR AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

GENERAL NOTE
SANITARY FACILITIES (EXCLUDING ANY EN-SUITE ACCOMMODATION):
ALL WALLS, DUCTS, BOXINGS ETC. TO BE STRONG ENOUGH TO SUPPORT GRAB RAILS / SEATS / OTHER ADAPTATIONS THAT COULD IMPOSE LOADS UP TO 1.5KN/MF
(REFER TO STANDARD DETAIL DRAWING WD-GD-EN-038 - 1M(2) GRAB RAIL SUPPORT & ASSOCIATED STRUCTURAL CALCULATIONS)

G. GUARDING TO BE PROVIDED AT 1100MM FROM FFL.
NOTE: GUARDING MAY BE OMITTED IF BUILD TOLERANCE TO WINDOW OPENING IS WITHIN A RANGE OF MAXIMUM 1100MM AND MINIMUM 1000MM

FIRST FLOOR PLAN.

Project Title
**LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO**

Drawing Title
ASHP FIRST FLOOR PLAN

Revision Note:

Scale
1 : 50

Drawn By
G.T.

Date
14.03.25

Drawing No.
L474206

Revision

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ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

REFER TO MANUFACTURER'S DRAWINGS FOR FURTHER INFORMATION.

TIMBER NOGGINS TO SUPPORT PARTITION ABOVE WHICH RUNS PARALLEL TO MAIN JOISTS, FIXED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND DETAILS.

TIMBER NOGGINS TO SUPPORT PARTITION ABOVE WHICH RUNS PARALLEL TO MAIN JOISTS, FIXED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND DETAILS.

INDEPENDENT 32MM POLYPROPYLENE DISCHARGE PIPE TO BS 5254 OR BS EN 1451. PIPE TO RUN TO SVP CONNECTION ONLY, AS DIMENSIONED. ENSURE POLYPROPYLENE PIPE HAS A CONTINUOUS FALL AND SUPPORTED AT 300MM CENTRES TO ENSURE PIPEWORK DOES NOT SAG. READ IN CONJUNCTION WITH JOIST LAYOUT

WASTE PIPES TO FALL WITHIN FLOOR VOID AND CONNECT INTO ADJACENT SVP. REFER TO WET AREA LAYOUT DWG FOR DETAILS.

LOCATION OF HOT WATER CYLINDER. ACCORDING TO APPROVED DOCUMENT PART G, TABLE 1; A DISCHARGE PIPE OF 22MM DIAMETER TO TUNDISH, WITH 35MM PIPE FROM TUNDISH HAS MAXIMUM DISTANCE FROM TUNDISH TO SVP OF 18M. EACH ELBOW REDUCES DISTANCE BY 1.4M."

240MM 'I-BEAM' JOISTS, INSTALLED IN STRICT ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS AND DETAILS.

WASTE PIPES TO FALL WITHIN FLOOR VOID AND CONNECT INTO ADJACENT SVP. REFER TO WET AREA LAYOUT DWG FOR DETAILS.

30 X 5MM SECTION GALV. M.S. LATERAL RESTRAINT STRAPS AT MAX. 2000MM CTS. FIXED ACROSS FIRST 3No. JOISTS. REFER TO MANUFACTURER'S DESIGN FOR LOCATIONS.

WASTE PIPES TO FALL WITHIN FLOOR VOID AND CONNECT INTO ADJACENT SVP. REFER TO WET AREA LAYOUT DWG FOR DETAILS.

CEILING MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN TO BE DUCTED THROUGH FLOOR VOID TO EXTERNAL GRILLE. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA INDEPENDENT BOOST SWITCH.

STAIRWELL SACRIFICIAL JOIST AREA TO INCLUDE A 1200mm x 600mm TRAP DOOR IN ACCORDANCE WITH MILLER DETAIL MHY/SD/SJ/001 & MANUFACTURER'S FLOOR JOIST DESIGN.

LAUNDRY EXTRACT FAN DUCTING TO BE TAKEN BETWEEN FLOOR JOISTS AND THROUGH TO EXTERNAL WALL.

NOTE: OVERALL CLEAR OPENING SIZES BETWEEN FACES OF TRIMMER JOISTS TO BE CHECKED AGAINST STAIRCASE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND ANY DISCREPANCIES REPORTED.

DOT/DASH LINE INDICATES APPROXIMATE ROUTE OF 25MM METER TAIL CABLE TO RUN DIRECTLY TO CONSUMER UNIT FROM METER BOX. CABLE TO BE MECHANICALLY PROTECTED USING A THICKER PLATE SHEATHING AND NO LONGER THAN 15M IN LENGTH. CABLE TO TAKE SHORTEST POSSIBLE ROUTE.

PRE-CONNECTORISED CABLE TO BE INSTALLED AS PER OPENREACH DEVELOPER GUIDE AT FIRST FIX STAGE. 1M LENGTH TO BE LEFT COILED UP WITHIN EMPTY BACK BOX WITH BLANKING PLATE FITTED INTERNALLY AND 1M COILED UP SUFFICIENTLY PROTECTED EXTERNALLY, ENSURING NO DAMAGE OCCURS TO PRE CONNECTORISED CABLE AT ANY POINT PRIOR TO COMMISSIONING BY PROVIDER. ONT AND BBU TO BE FITTED AT SECOND FIX STAGE (ALL ITEMS TO BE PROVIDED BY OPENREACH)

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

F.F. INDICATIVE FLOOR JOIST LAYOUT.

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

Drawing Title
F.F. INDICATIVE FLOOR JOIST LAYOUT

Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.	Revision	
L474301		

mill

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

DENOTES 1450 X 150 X 30 X 5MM GALV. M.S. RESTRAINT STRAPS AT MAX. 2000MM CTS TO BE INSTALLED IN ACCORDANCE WITH TRUSS MANUFACTURERS DESIGN.

REFER TO ROOF TRUSS MANUFACTURER'S LAYOUT & DESIGN FOR EXACT ROOF PROFILES / CENTRES ETC..

ROOF INSULATION TO BE GLASS FIBRE QUILT TO ROOF SPACE. OVERALL 600MM - 100MM LAID BETWEEN CEILING JOISTS WITH 1 LAYER OF 100MM AND 2No. LAYER OF 200MM CROSS LAID TO ACHIEVE A U-VALUE OF 0.07 W/m²K (THERMAL CONDUCTIVITY 0.044W/mK).

CEILING TO UNDERSIDE OF STAIRCASE TO RECEIVE 1No. LAYER OF 15MM GYPROC WALLBOARD (9.8kg/M²).

9773 OVERALL WALLPLATE

P.V. PANEL INVERTER BOX TO BE LOCATED IN ROOF SPACE ADJACENT TO LOFT HATCH - (REFER TO MANUFACTURERS DETAILS)

COLD ROOF CONSTRUCTION DETAILS: - (IN ACCORDANCE WITH NHBC STANDARDS 7.2.15)

- ROOF UNDERLAY = VAPOUR IMPERMEABLE (TYPE HR)

VENTILATION PROVISION:

- EAVES LEVEL = 10,000mm²/m RUN
- RIDGE LEVEL (WHERE ROOF PITCH IS 35° OR ABOVE OR EXCEEDS 10M CLEAR SPAN) = 5,000mm²/m RUN
- HIGH LEVEL ON MONO-PITCH (LEAN-TO) ROOFS = 5,000mm²/m RUN

NOTE:

EAVES SPACER (i.e. RAFTER TRAY) TO BE INSTALLED TO MAINTAIN 25MM CLEAR AIRWAY OVER FULL LENGTH OF EAVES INSULATION.

65 X 100MM TIMBER WALLPLATE ON 10MM MORTAR BED.

FLOOR CONSTRUCTION TO ACHIEVE MINIMUM 40dB AND 30 MIN. FIRE RESISTANCE TO ALL FLOORS: 22MM CHIPBOARD FLOORING PROVIDING A MIN. MASS 15kg/M². 240MM 'I BEAM' JOIST SPACED AT NO LESS THAN 400MM CENTRES. REFER TO MANUFACTURER'S DETAILS FOR CONFIRMATION. 15MM PLASTERBOARD CEILING FINISH PROVIDING A MASS 9.8kg/M².

GROUND FLOOR SLAB TO RECEIVE 125MM INSULATION WITH A THERMAL CONDUCTIVITY OF 0.022W/mK TO ENSURE A MINIMUM AREA WEIGHTED 'U' VALUE OF 0.14W/m²K IS ACHIEVED.

INTERNAL THRESHOLD STRIP TO FRONT ENTRANCE TO BE MAX. 15MM IN HEIGHT WITH CHAMFERED EDGES.

CONCRETE FOUNDATIONS TO BE STRICTLY IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DESIGN SPECIFICATION & DETAILS

SECTION A-A

FOUNDATIONS ARE INDICATIVE ONLY AND STRUCTURAL ENGINEERS DETAILS SHOULD BE READ IN CONJUNCTION WITH THIS DRAWING.

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

Revision Note:

Scale

1 : 50

Drawn By

G.T.

Date

06.11.23

Drawing No.

L474302

Revision

Project Title

LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title

SECTION A-A

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

DENOTES 1450 X 150 X 30 X 5MM GALV. M.S. RESTRAINT STRAPS AT MAX. 2000MM CTS TO BE INSTALLED IN ACCORDANCE WITH TRUSS MANUFACTURERS DESIGN.

REFER TO ROOF TRUSS MANUFACTURER'S LAYOUT & DESIGN FOR EXACT ROOF PROFILES / CENTRES ETC..

65 X 100MM TIMBER WALLPLATE ON 10MM MORTAR BED.

ROOF INSULATION TO BE GLASS FIBRE QUILT TO ROOF SPACE. OVERALL 600MM - 100MM LAID BETWEEN CEILING JOISTS WITH 1 LAYER OF 100MM AND 2No. LAYER OF 200MM CROSS LAID TO ACHIEVE A U-VALUE OF 0.07 W/m²K (THERMAL CONDUCTIVITY 0.044W/mK).

FLOOR CONSTRUCTION TO ACHIEVE MINIMUM 40dB AND 30 MIN. FIRE RESISTANCE TO ALL FLOORS: 22MM CHIPBOARD FLOORING PROVIDING A MIN. MASS 15kg/M². 240MM 'I BEAM' JOIST SPACED AT NO LESS THAN 400MM CENTRES. REFER TO MANUFACTURER'S DETAILS FOR CONFIRMATION. 15MM PLASTERBOARD CEILING FINISH PROVIDING A MASS 9.8kg/M².

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CONCRETE FOUNDATIONS TO BE STRICTLY IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DESIGN SPECIFICATION & DETAILS



COLD ROOF CONSTRUCTION DETAILS: - (IN ACCORDANCE WITH NHBC STANDARDS 7.2.15)

- ROOF UNDERLAY = VAPOUR IMPERMEABLE (TYPE HR)

VENTILATION PROVISION:

- EAVES LEVEL = 10,000mm²/m RUN
- RIDGE LEVEL (WHERE ROOF PITCH IS 35° OR ABOVE OR EXCEEDS 10M CLEAR SPAN) = 5,000mm²/m RUN
- HIGH LEVEL ON MONO-PITCH (LEAN-TO) ROOFS = 5,000mm²/m RUN

NOTE:

EAVES SPACER (i.e. RAFTER TRAY) TO BE INSTALLED TO MAINTAIN 25MM CLEAR AIRWAY OVER FULL LENGTH OF EAVES INSULATION.

REFER TO ROOF TRUSS MANUFACTURER'S LAYOUT & DESIGN FOR EXACT ROOF PROFILES / CENTRES ETC..

65 X 100MM TIMBER WALLPLATE ON 10MM MORTAR BED.

ROOF INSULATION TO BE GLASS FIBRE QUILT TO ROOF SPACE. OVERALL 600MM - 100MM LAID BETWEEN CEILING JOISTS WITH 1 LAYER OF 100MM AND 2No. LAYER OF 200MM CROSS LAID TO ACHIEVE A U-VALUE OF 0.07 W/m²K (THERMAL CONDUCTIVITY 0.044W/mK).

FLOOR CONSTRUCTION TO ACHIEVE MINIMUM 40dB AND 30 MIN. FIRE RESISTANCE TO ALL FLOORS: 22MM CHIPBOARD FLOORING PROVIDING A MIN. MASS 15kg/M². 240MM 'I BEAM' JOIST SPACED AT NO LESS THAN 400MM CENTRES. REFER TO MANUFACTURER'S DETAILS FOR CONFIRMATION. 15MM PLASTERBOARD CEILING FINISH PROVIDING A MASS 9.8kg/M².

GROUND FLOOR SLAB TO RECEIVE 125MM INSULATION WITH A THERMAL CONDUCTIVITY OF 0.022W/mK TO ENSURE A MINIMUM AREA WEIGHTED 'U' VALUE OF 0.14W/m²K IS ACHIEVED.

CONCRETE FOUNDATIONS TO BE STRICTLY IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DESIGN SPECIFICATION & DETAILS

SECTION B-B

FOUNDATIONS ARE INDICATIVE ONLY AND STRUCTURAL ENGINEERS DETAILS SHOULD BE READ IN CONJUNCTION WITH THIS DRAWING.

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
SECTION B-B

Revision Note:

Scale

1 : 50

Drawn By

G.T.

Date

06.11.23

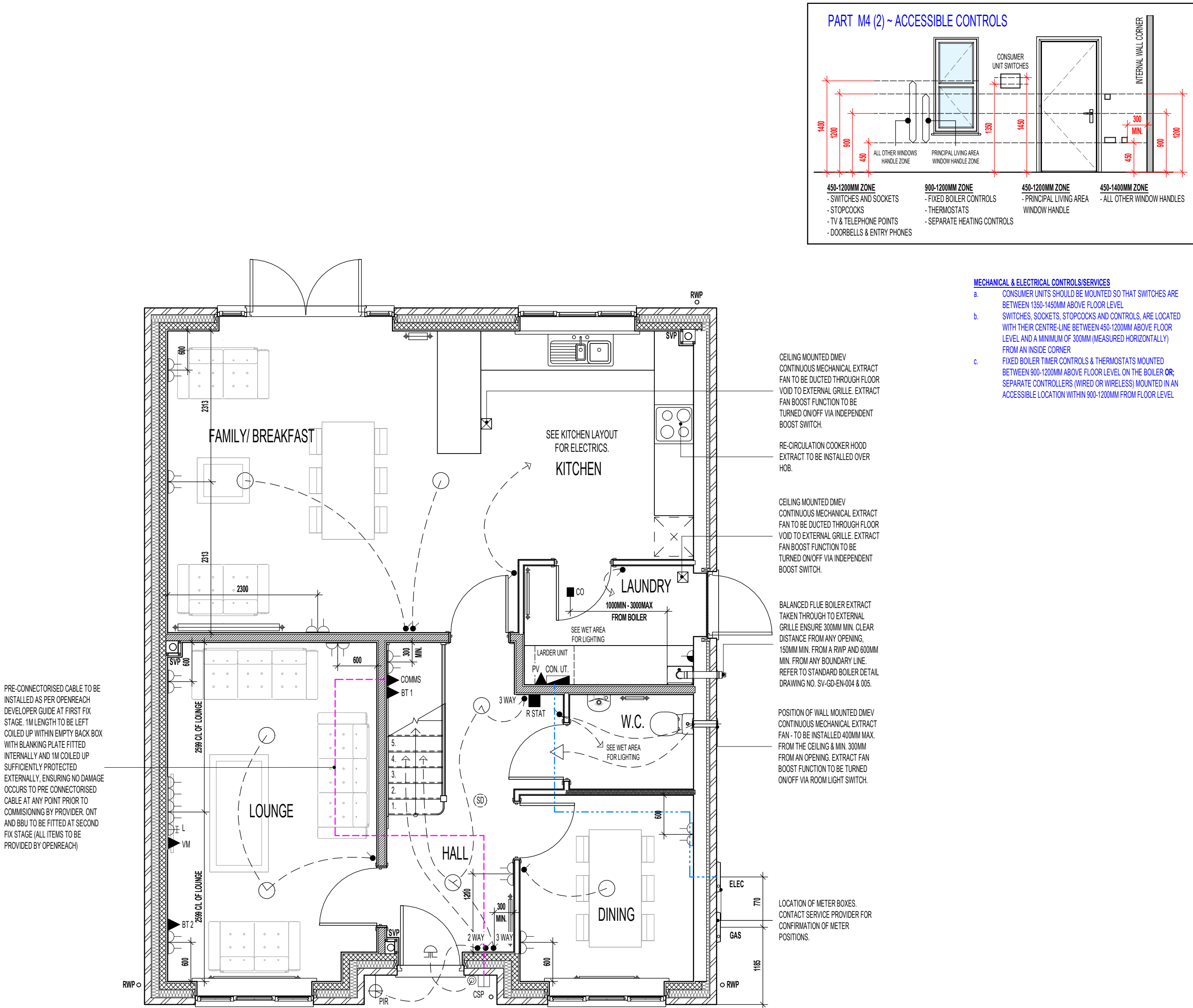
Drawing No.

L474303

Revision

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING



ELECTRICAL LEGEND.	
	WALL MOUNTED LIGHT FITTING WITH P.I.R.
	PENDANT CEILING MOUNTED LOW ENERGY LIGHT.
	CEILING MOUNTED SMOKE DETECTOR.
	CEILING MOUNTED CARBON MONOXIDE DETECTOR.
	LIGHT SWITCH.
	2 WAY LIGHT SWITCH.
	3 WAY LIGHT SWITCH.
	DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL).
	LOUNGE COMMUNICATION PLATE TO CONSIST OF : - CO-AXIAL (FEMALE SCREENED) MODULE - SATELLITE (FEMALE SCREENED) MODULE - BT 3
	BOILER FUSED SPUR
	BT POINT (ROUTER POSITION) - DAISY CHAIN LINKED TO BT 2.
	BT POINT (TELEPHONE POSITION) - DAISY CHAIN LINKED TO BT 3.
	FIBRE NETWORK INSTALLATION TERMINATION POINT - (EQUIPMENT AS SUPPLIED BY RELEVANT PROVIDER). REFER TO SEPARATE INSTALLER'S DETAILS
	EXTERNAL CUSTOMER SPICE POINT LOCATION (SUPPLIED BY PROVIDER)
	VIRGIN MEDIA - PLEASE CHECK WITH SALES ADVISOR FOR AVAILABILITY.
	P.V. INVERTER ISOLATION SWITCH & PV GENERATION METER TO SPECIALISTS DETAILS.
	ISOLATOR SWITCH HIGH LEVEL.
	DMEV CEILING MOUNTED EXTRACT FAN.
	DMEV WALL MOUNTED EXTRACT FAN.
	DOOR CHIME.
	BELL PUSH.
	ROOM STAT.
	CONSUMER UNIT. (SWITCHES TO BE 1350MM TO 1450MM FROM FFL).
	RADIATOR.

GROUND FLOOR ELECTRICAL PLAN

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
GROUND FLOOR ELECTRICAL PLAN

Revision Note:

Scale1 : 50

Drawn ByG.T.

Date06.11.23

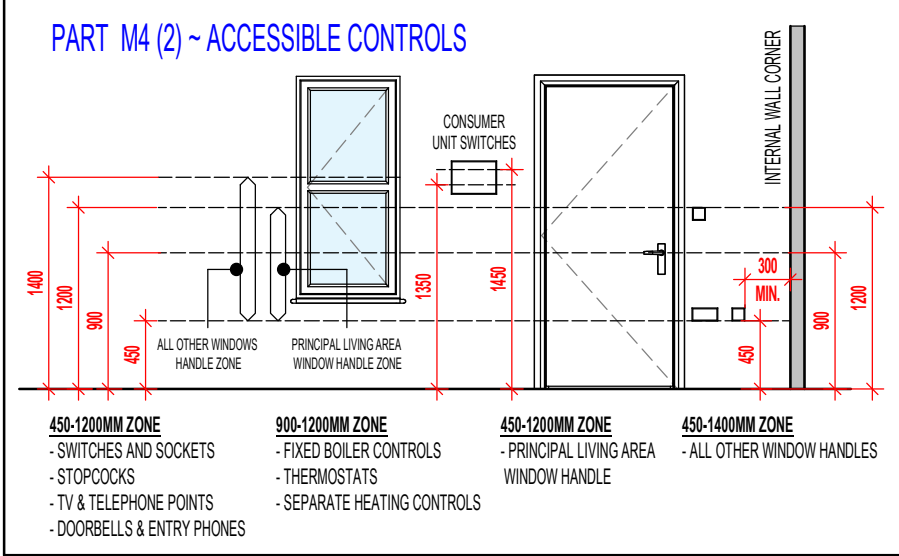
Drawing No.L474510

Revision

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ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING



- MECHANICAL & ELECTRICAL CONTROLS/SERVICES
- a. CONSUMER UNITS SHOULD BE MOUNTED SO THAT SWITCHES ARE BETWEEN 1350-1450MM ABOVE FLOOR LEVEL
- b. SWITCHES, SOCKETS, STOPCOCKS AND CONTROLS, ARE LOCATED WITH THEIR CENTRE LINE BETWEEN 450-1200MM ABOVE FLOOR LEVEL AND A MINIMUM OF 300MM (MEASURED HORIZONTALLY) FROM AN INSIDE CORNER
- c. FIXED BOILER TIMER CONTROLS & THERMOSTATS MOUNTED BETWEEN 900-1200MM ABOVE FLOOR LEVEL ON THE BOILER OR; SEPARATE CONTROLLERS (WIRED OR WIRELESS) MOUNTED IN AN ACCESSIBLE LOCATION WITHIN 900-1200MM FROM FLOOR LEVEL

ELECTRICAL LEGEND.	
	PENDANT CEILING MOUNTED LOW ENERGY LIGHT.
	CEILING MOUNTED SMOKE DETECTOR.
	LIGHT SWITCH.
	2 WAY LIGHT SWITCH.
	3 WAY LIGHT SWITCH.
	DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL).
	FUSED SPUR
	RADIOFREQUENCY TEST & CONTROL SWITCH. (RADIO-LINKED TO MULTI SENSOR SMOKE & HEAT ALARM INSTALLED IN THE LOFT SPACE)
	DMEV WALL MOUNTED EXTRACT FAN.
	RADIATOR.
	SHOWER FITTING.
	ISOLATOR SWITCH HIGH LEVEL.
	PV IMMERSSION DIVERTER
	ROOM STAT.

ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS:-

ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED FOR AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

G. GUARDING TO BE PROVIDED AT 1100MM FROM FFL. NOTE: GUARDING MAY BE OMITTED IF BUILD TOLERANCE TO WINDOW OPENING IS WITHIN A RANGE OF MAXIMUM 1100MM AND MINIMUM 1000MM

GENERAL NOTE
SANITARY FACILITIES (EXCLUDING ANY EN-SUITE ACCOMMODATION): ALL WALLS, DUCTS, BOXINGS ETC. TO BE STRONG ENOUGH TO SUPPORT GRAB RAILS / SEATS / OTHER ADAPTATIONS THAT COULD IMPOSE LOADS UP TO 1.5KNMF (REFER TO STANDARD DETAIL DRAWING WD-GD-EN-438 - M4(2) GRAB RAIL SUPPORT & ASSOCIATED STRUCTURAL CALCULATIONS)

LINEN TO BE PROVIDED WITH 1No. 13 AMP FUSED SPUR CONNECTION TO IMMERSION HEATER / PV IMMERSSION DIVERTER

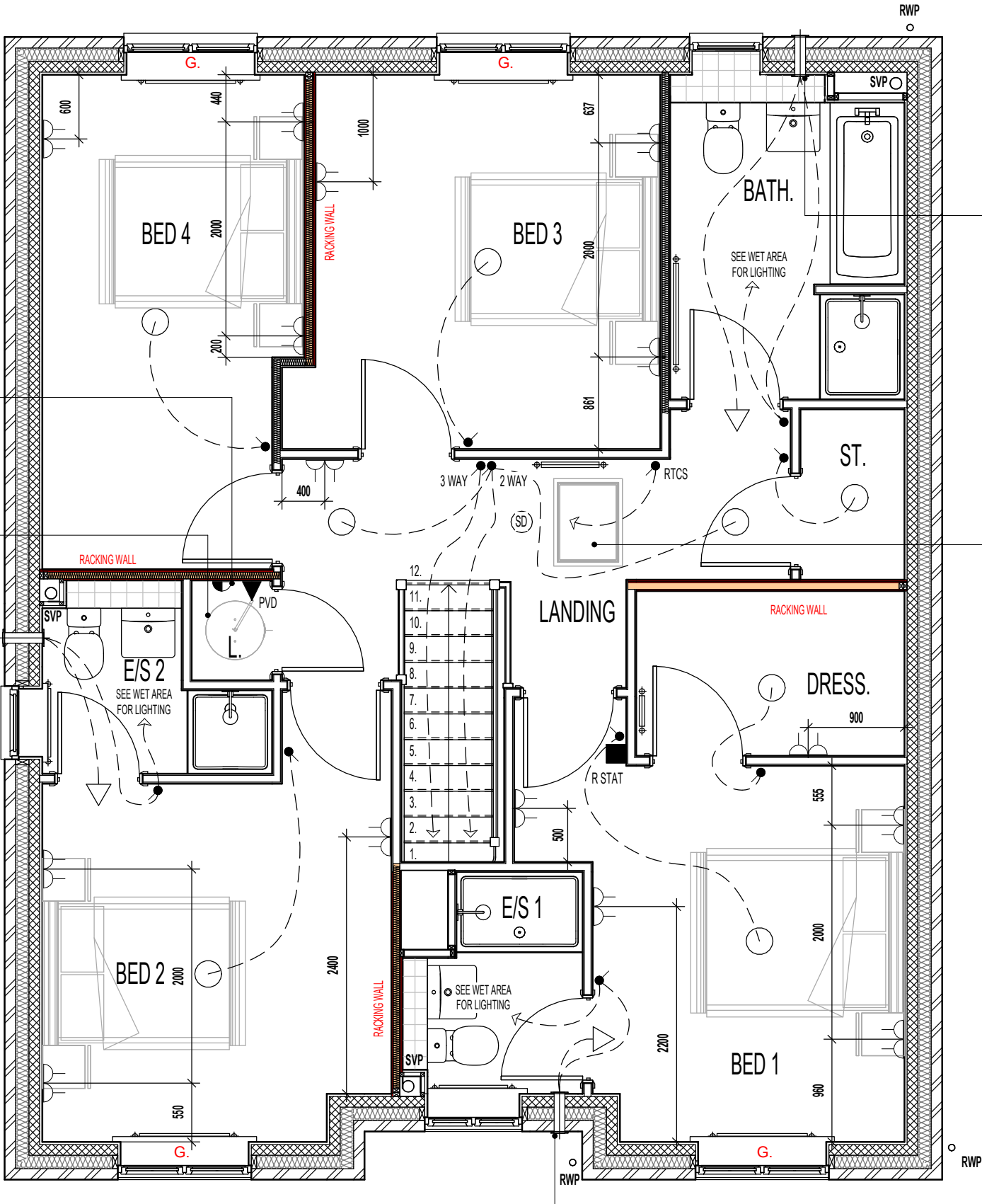
LOCATION OF HOT WATER CYLINDER. ACCORDING TO APPROVED DOCUMENT PART G, TABLE 1; A DISCHARGE PIPE OF 22MM DIAMETER TO TUNDISH, WITH 35MM PIPE FROM TUNDISH HAS MAXIMUM DISTANCE FROM TUNDISH TO SVP OF 18M. EACH ELBOW REDUCES DISTANCE BY 1.4M.*

POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED 400MM MAX. FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.

POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED 400MM MAX. FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.

P.V. PANEL INVERTER BOX TO BE LOCATED IN ROOF SPACE ADJACENT TO LOFT HATCH - (REFER TO MANUFACTURERS DETAILS)

POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED 400MM MAX. FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.



FIRST FLOOR PLAN.

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
FIRST FLOOR ELECTRICAL PLAN

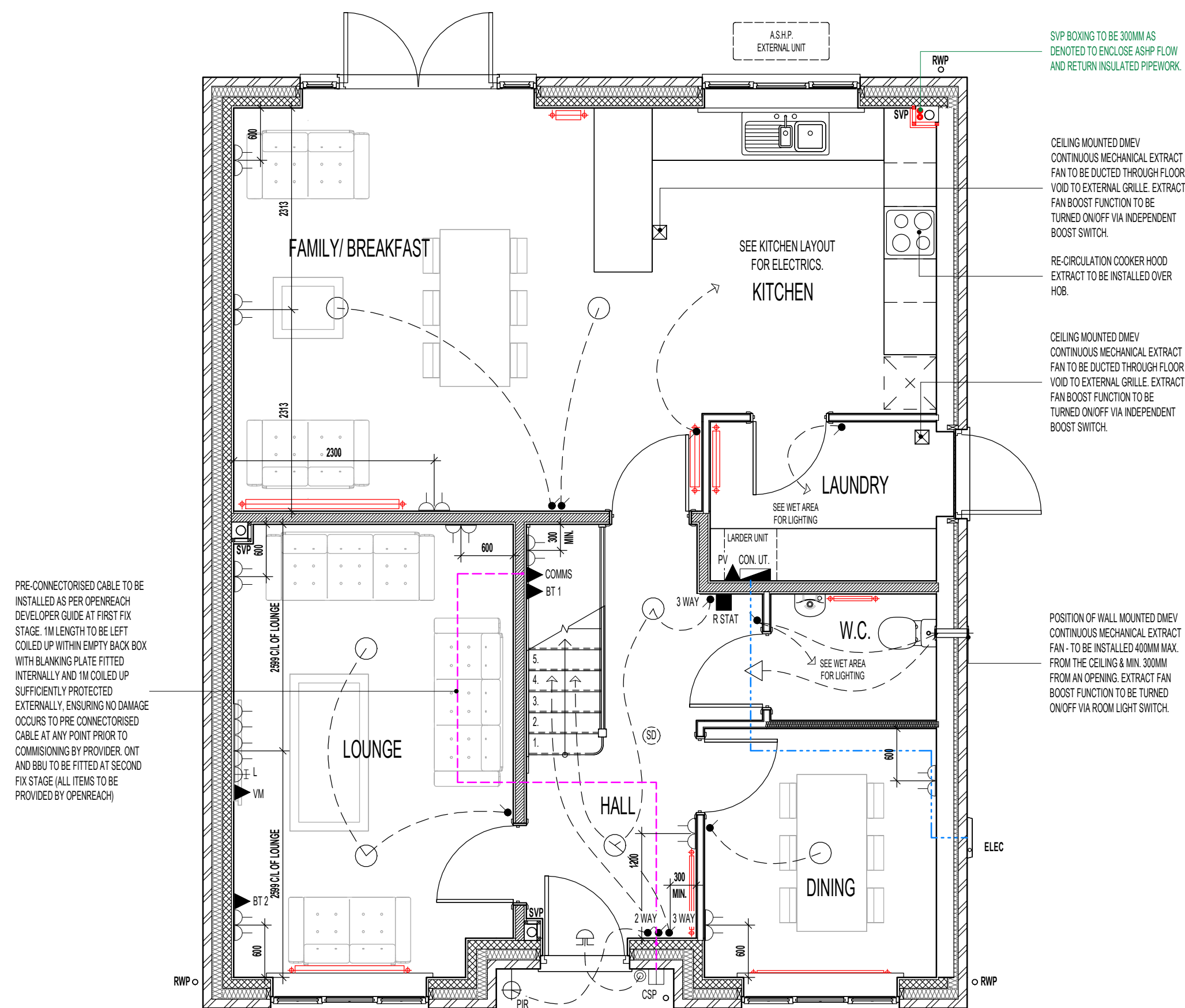
Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.	Revision	
L474511		

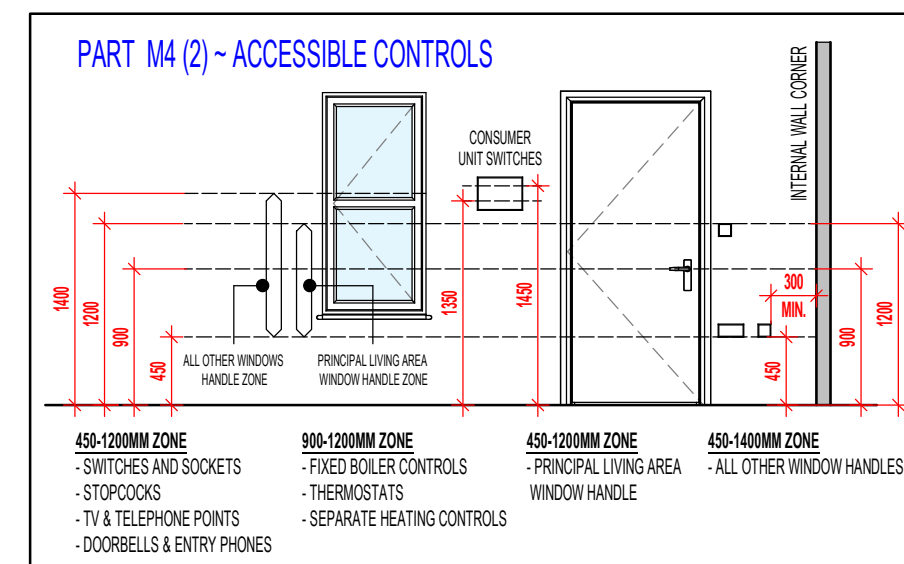
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ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74



GROUND FLOOR ELECTRICAL PLAN



MECHANICAL & ELECTRICAL CONTROLS/SERVICES

- a. CONSUMER UNITS SHOULD BE MOUNTED SO THAT SWITCHES ARE BETWEEN 1350-1450MM ABOVE FLOOR LEVEL
- b. SWITCHES, SOCKETS, STOPCOCKS AND CONTROLS, ARE LOCATED WITH THEIR CENTRE-LINE BETWEEN 450-1200MM ABOVE FLOOR LEVEL AND A MINIMUM OF 300MM (MEASURED HORIZONTALLY) FROM AN INSIDE CORNER
- c. FIXED BOILER TIMER CONTROLS & THERMOSTATS MOUNTED BETWEEN 900-1200MM ABOVE FLOOR LEVEL ON THE BOILER OR; SEPARATE CONTROLLERS (WIRED OR WIRELESS) MOUNTED IN AN ACCESSIBLE LOCATION WITHIN 900-1200MM FROM FLOOR LEVEL

ELECTRICAL LEGEND.	
	WALL MOUNTED LIGHT FITTING WITH P.I.R.
	PENDANT CEILING MOUNTED LOW ENERGY LIGHT.
	CEILING MOUNTED SMOKE DETECTOR.
	LIGHT SWITCH.
	2 WAY LIGHT SWITCH.
	3 WAY LIGHT SWITCH.
	DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL).
	LOUNGE COMMUNICATION PLATE TO CONSIST OF : - CO-AXIAL (FEMALE SCREENED) MODULE - SATELLITE (FEMALE SCREENED) MODULE - BT 3
	BT POINT (ROUTER POSITION) - DAISY CHAIN LINKED TO BT 2.
	BT POINT (TELEPHONE POSITION) - DAISY CHAIN LINKED TO BT 3.
	FIBRE NETWORK INSTALLATION TERMINATION POINT - (EQUIPMENT AS SUPPLIED BY RELEVANT PROVIDER). REFER TO SEPARATE INSTALLER'S DETAILS
	EXTERNAL CUSTOMER SPLICE POINT LOCATION. (SUPPLIED BY PROVIDER)
	VIRGIN MEDIA - PLEASE CHECK WITH SALES ADVISOR FOR AVAILABILITY.
	P.V. INVERTER ISOLATION SWITCH & PV GENERATION METER TO SPECIALISTS DETAILS.
	ISOLATOR SWITCH HIGH LEVEL.
	DMEV CEILING MOUNTED EXTRACT FAN.
	DMEV WALL MOUNTED EXTRACT FAN.
	DOOR CHIME.
	BELL PUSH.
	ROOM STAT.
	CONSUMER UNIT. (SWITCHES TO BE 1350MM TO 1450MM FROM FFL).
	RADIATOR.

Revision Note:

Scale _____ Drawn By _____ Date _____

1 : 50	G.T.	14.03.25
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Drawing No.	Revision
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Drawing No.	Revision
L474514	

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ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title

ASHP GROUND FLOOR ELECTRICAL PLAN

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

FIRST FLOOR PLAN.

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
ASHP FIRST FLOOR ELECTRICAL PLAN

Revision Note:

Scale
1 : 50

Drawn By
G.T.

Date
14.03.25

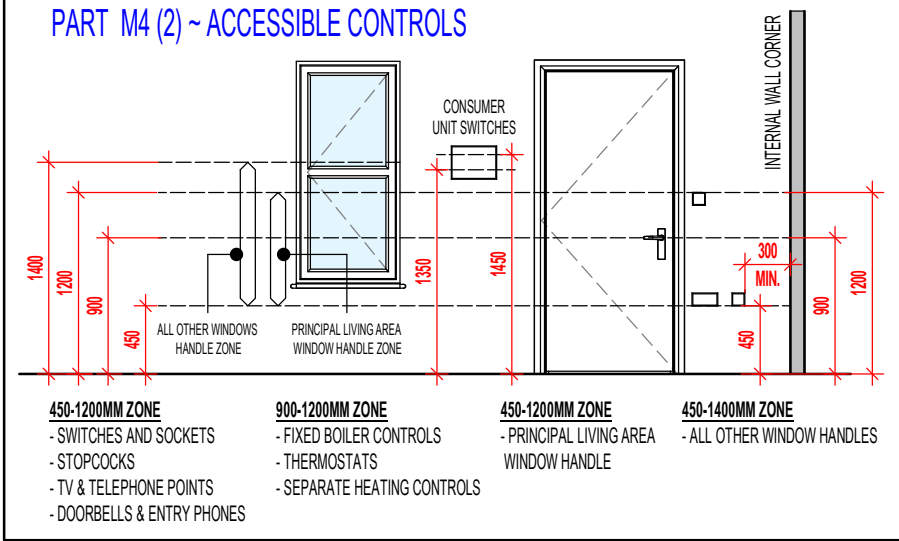
Drawing No.
L474515

Revision

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ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING

PART M4 (2) ~ ACCESSIBLE CONTROLS



- MECHANICAL & ELECTRICAL CONTROLS/SERVICES**
- CONSUMER UNITS SHOULD BE MOUNTED SO THAT SWITCHES ARE BETWEEN 1350-1450MM ABOVE FLOOR LEVEL.
 - SWITCHES, SOCKETS, STOPCOCKS AND CONTROLS, ARE LOCATED WITH THEIR CENTRE LINE BETWEEN 450-1200MM ABOVE FLOOR LEVEL AND A MINIMUM OF 300MM (MEASURED HORIZONTALLY) FROM AN INSIDE CORNER.
 - FIXED BOILER TIMER CONTROLS & THERMOSTATS MOUNTED BETWEEN 900-1200MM ABOVE FLOOR LEVEL ON THE BOILER OR; SEPARATE CONTROLLERS (WIRED OR WIRELESS) MOUNTED IN AN ACCESSIBLE LOCATION WITHIN 900-1200MM FROM FLOOR LEVEL.

ELECTRICAL LEGEND.

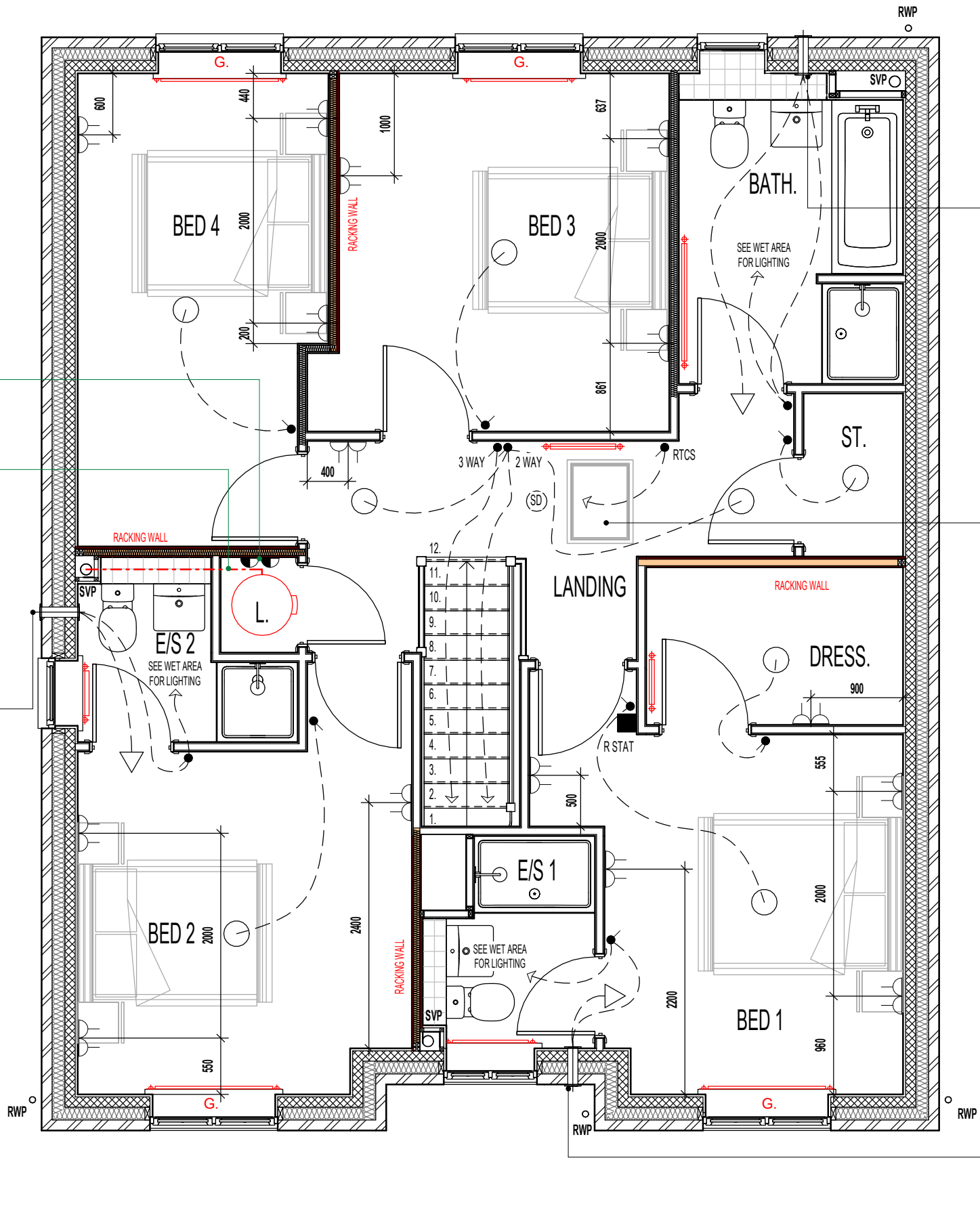
	PENDANT CEILING MOUNTED LOW ENERGY LIGHT.
	CEILING MOUNTED SMOKE DETECTOR.
	LIGHT SWITCH.
	2 WAY LIGHT SWITCH.
	3 WAY LIGHT SWITCH.
	DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL).
	FUSED SPUR
	RADIOFREQUENCY TEST & CONTROL SWITCH. (RADIO-LINKED TO MULTI SENSOR SMOKE & HEAT ALARM INSTALLED IN THE LOFT SPACE)
	DMEV WALL MOUNTED EXTRACT FAN.
	RADIATOR.
	SHOWER FITTING.
	ISOLATOR SWITCH HIGH LEVEL.
	ROOM STAT.

ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS:-

ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED FOR AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

G. GUARDING TO BE PROVIDED AT 1100MM FROM FFL.
NOTE: GUARDING MAY BE OMITTED IF BUILD TOLERANCE TO WINDOW OPENING IS WITHIN A RANGE OF MAXIMUM 1100MM AND MINIMUM 1000MM

GENERAL NOTE
SANITARY FACILITIES (EXCLUDING ANY EN-SUITE ACCOMMODATION):
ALL WALLS, DUCTS, BOXINGS ETC. TO BE STRONG ENOUGH TO SUPPORT GRAB RAILS / SEATS / OTHER ADAPTATIONS THAT COULD IMPOSE LOADS UP TO 1.5KN/M.
(REFER TO STANDARD DETAIL DRAWING WD-GD-EN-438 - M4(2) GRAB RAIL SUPPORT & ASSOCIATED STRUCTURAL CALCULATIONS)



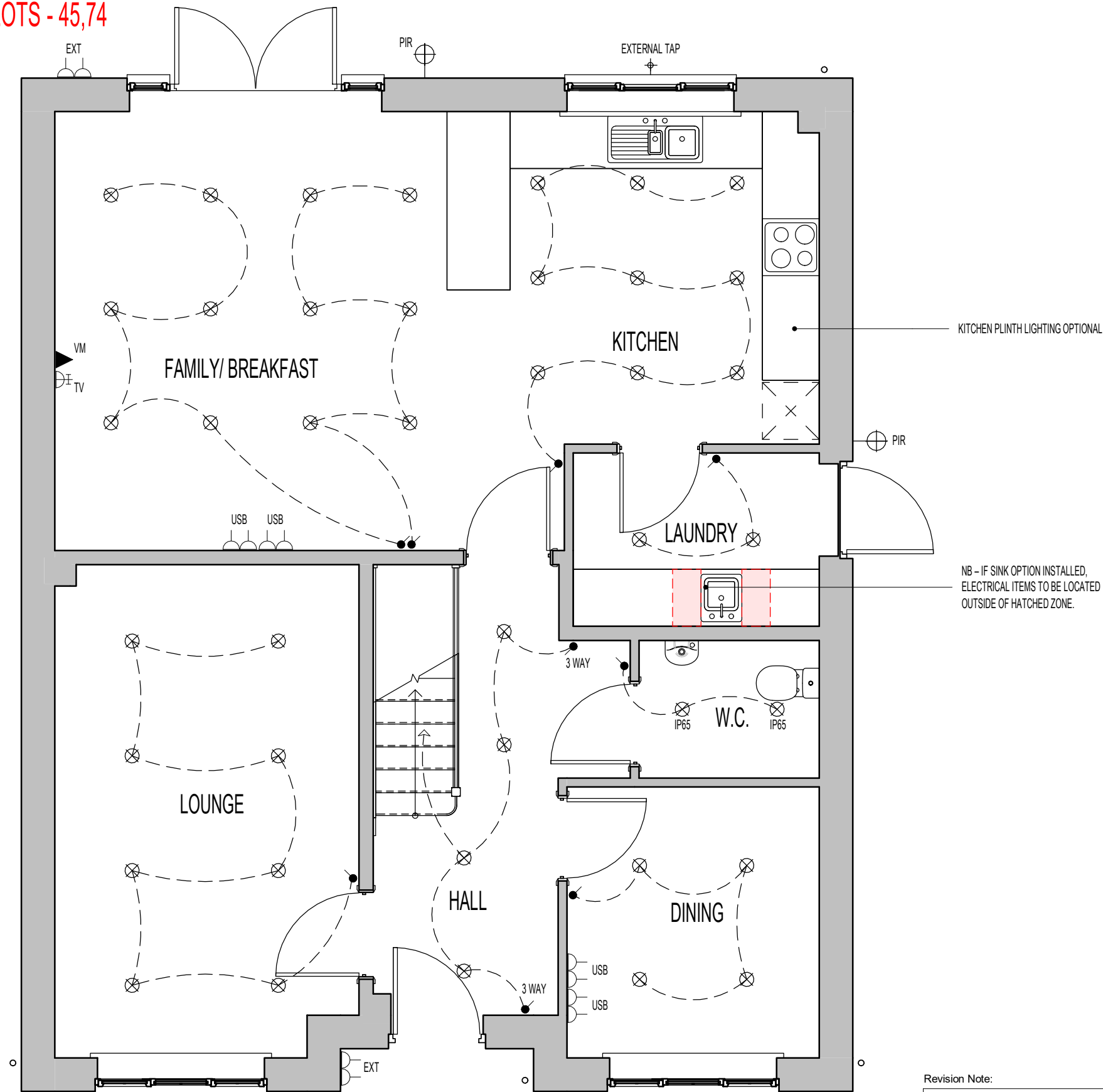
POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED 400MM MAX. FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.

P.V. PANEL INVERTER BOX TO BE LOCATED IN ROOF SPACE ADJACENT TO LOFT HATCH - (REFER TO MANUFACTURERS DETAILS)

POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED 400MM MAX. FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74



ELECTRICAL LEGEND.	
	LED DOWNLIGHTER. (IP65 RATED WHERE INDICATED).
	TV AERIAL SOCKET.
	VIRGIN MEDIA PLEASE CHECK WITH SALES ADVISOR FOR AVAILABILITY.
	EXTERNAL TAP.
	DOUBLE SWITCHED SOCKET OUTLET WITH USB CHARGING POINT (LOW LEVEL).
	EXTERNAL DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL).
	EXTERNAL LIGHT (WITH P.I.R. & OVERRIDE SWITCH)

HATCH INDICATES ZONES WHERE NO ELECTRICAL FITTINGS SHOULD BE INSTALLED ABOVE THE WORKTOP.

DOWNLIGHTER NOTES.

- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.
- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.
- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

OPTIONAL - TILING LEGEND.
NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT. SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.
HALF AND FULL HEIGHT TILING OPTIONS AVAILABLE TO W.C. BATHROOM AND ENSUITES.

GROUND FLOOR PLAN

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
GROUND FLOOR CUSTOMER OPTIONS

Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23

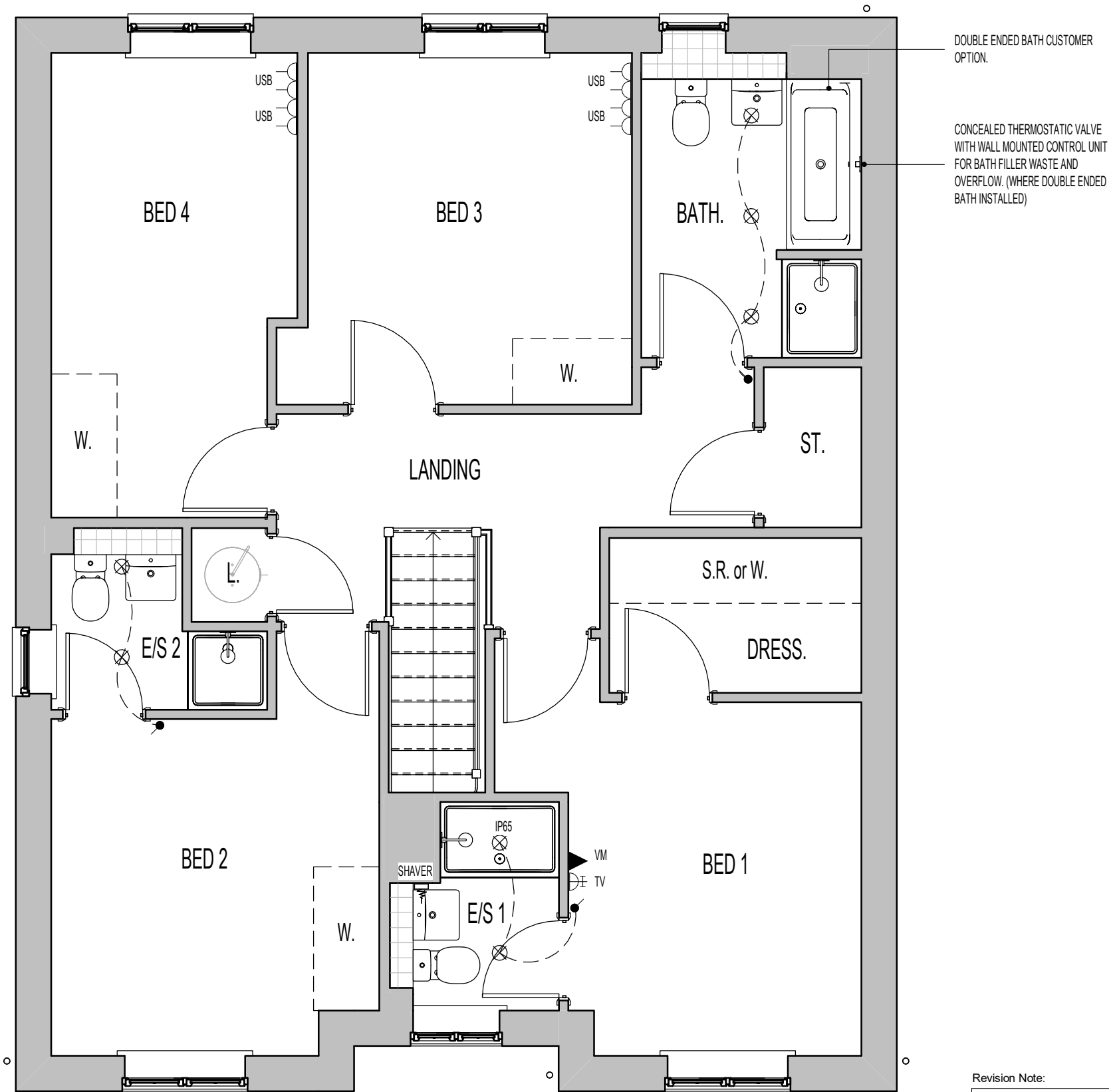
Drawing No.	Revision
L474512	

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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74



ELECTRICAL LEGEND.	
	LED DOWNLIGHTER. (IP65 RATED WHERE INDICATED).
	DOUBLE-POLE ISOLATING SWITCH, RATING TO SUIT APPLIANCE INSTALLED. WALL MOUNTED IN ACCORDANCE WITH IEE REGULATIONS.
	TV AERIAL SOCKET.
	VIRGIN MEDIA PLEASE CHECK WITH SALES ADVISOR FOR AVAILABILITY.
	SHAVER SOCKET.
	DOUBLE SWITCHED SOCKET OUTLET WITH USB CHARGING POINT (LOW LEVEL).

OPTIONAL - TILING LEGEND.	
NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT. SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.	
HALF AND FULL HEIGHT TILING OPTIONS AVAILABLE TO W.C. BATHROOM AND ENSUITES.	

- DOWNLIGHTER NOTES.
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- PLAN LEGEND.
- W. OPTIONAL WARDROBE.
- CHECK WITH SALES ADVISOR FOR STYLE AND AVAILABILITY.
 - S.R. SHELF & RAIL ARRANGEMENT.
- CHECK WITH SALES ADVISOR FOR STYLE AND AVAILABILITY.

FIRST FLOOR PLAN

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

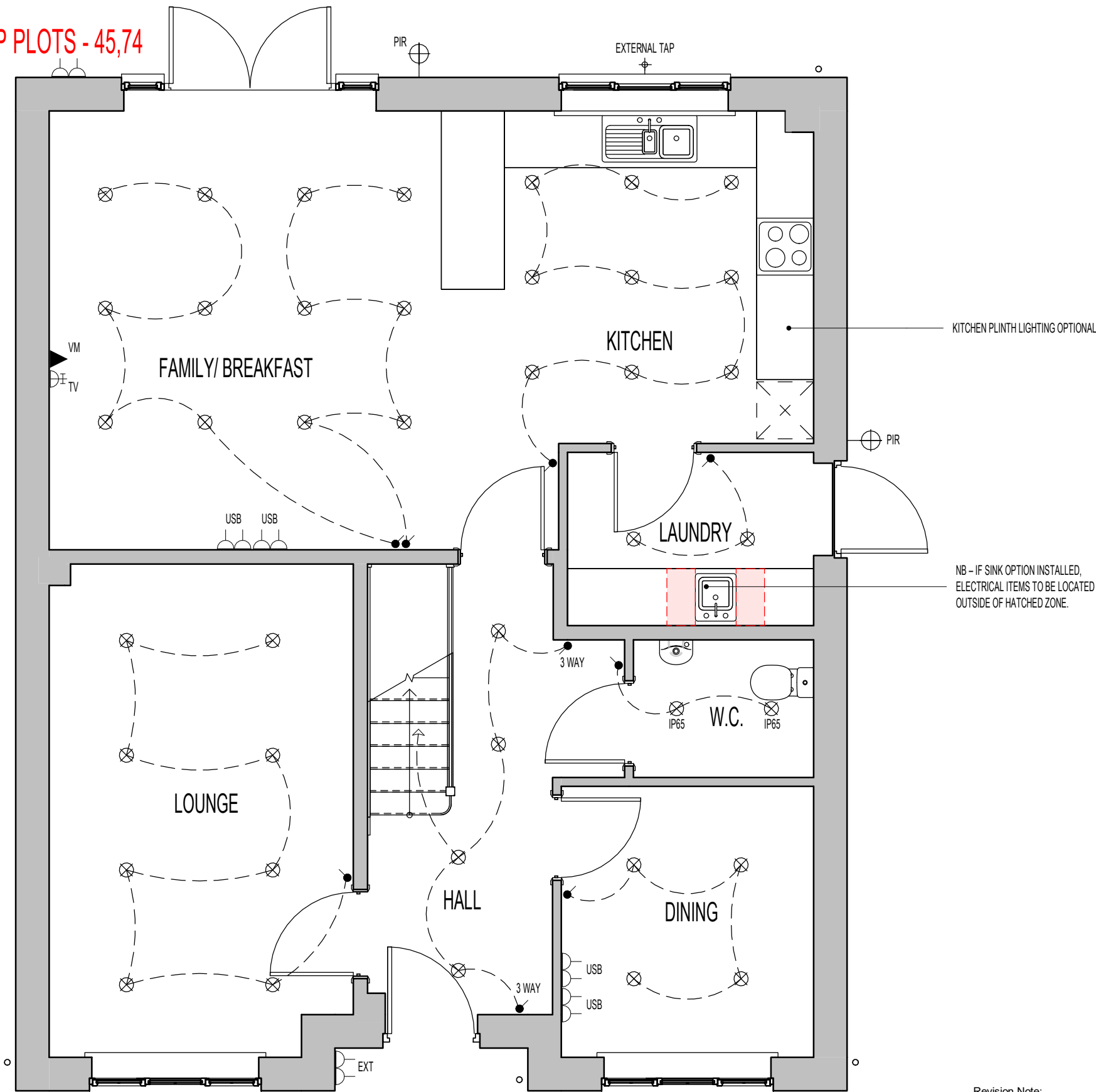
Drawing Title
FIRST FLOOR CUSTOMER OPTIONS

Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.		Revision
L474513		

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AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74



ELECTRICAL LEGEND.	
	LED DOWNLIGHTER. (IP65 RATED WHERE INDICATED).
	TV AERIAL SOCKET.
	VIRGIN MEDIA PLEASE CHECK WITH SALES ADVISOR FOR AVAILABILITY.
	EXTERNAL TAP.
	DOUBLE SWITCHED SOCKET OUTLET WITH USB CHARGING POINT (LOW LEVEL).
	EXTERNAL DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL).
	EXTERNAL LIGHT (WITH P.I.R. & OVERRIDE SWITCH)

HATCH INDICATES ZONES WHERE NO ELECTRICAL FITTINGS SHOULD BE INSTALLED ABOVE THE WORKTOP.

DOWNLIGHTER NOTES.

- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.
- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.
- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

OPTIONAL - TILING LEGEND.
NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT. SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.
HALF AND FULL HEIGHT TILING OPTIONS AVAILABLE TO W.C. BATHROOM AND ENSUITES.

GROUND FLOOR PLAN

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

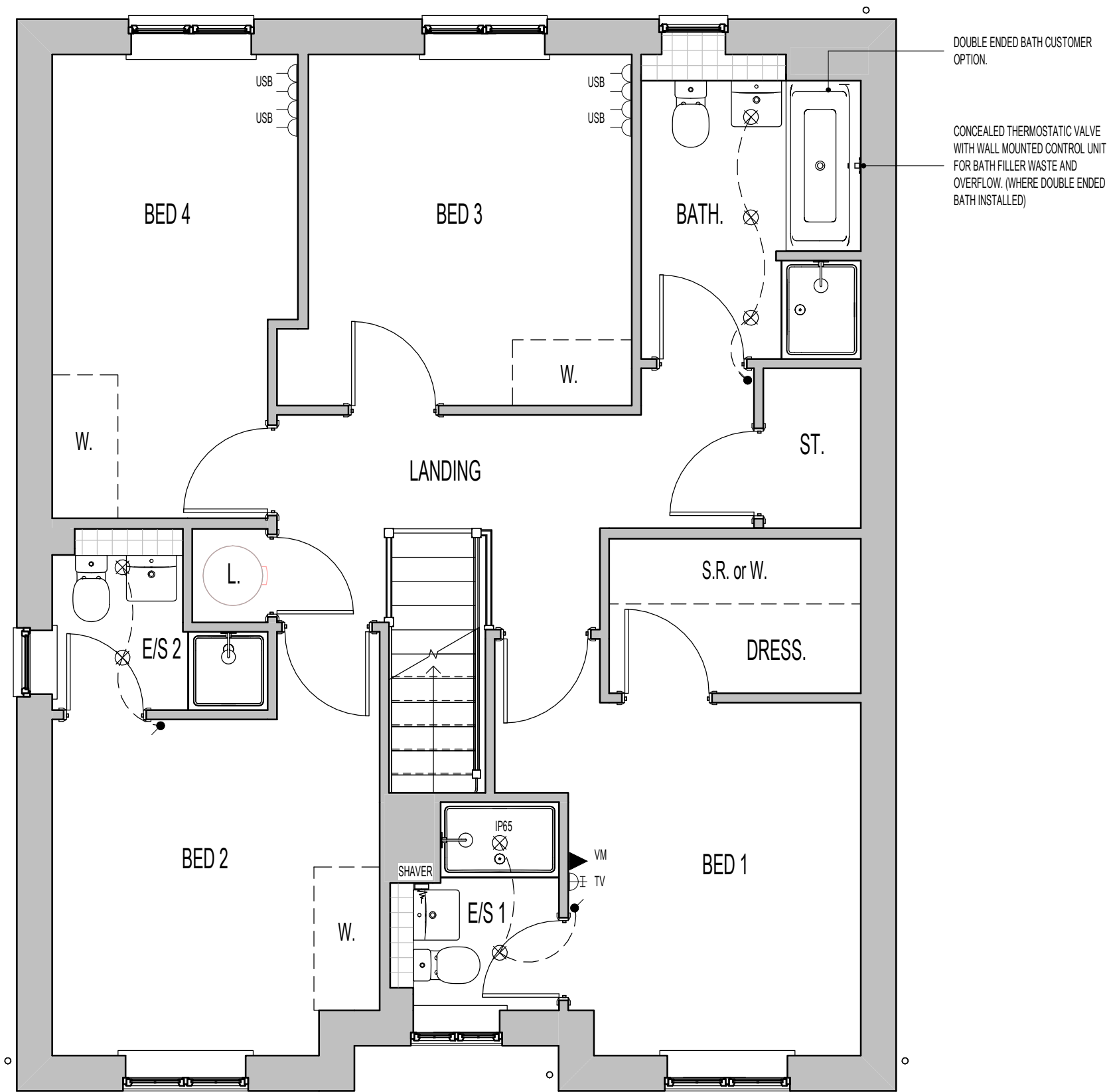
Drawing Title
ASHP GROUND FLOOR CUSTOMER OPTIONS
PLAN

Revision Note:

Scale	Drawn By	Date
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Drawing No.		Revision
L474516		

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AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74



ELECTRICAL LEGEND.	
	LED DOWNLIGHTER. (IP65 RATED WHERE INDICATED).
	DOUBLE-POLE ISOLATING SWITCH, RATING TO SUIT APPLIANCE INSTALLED. WALL MOUNTED IN ACCORDANCE WITH IEE REGULATIONS.
	TV AERIAL SOCKET.
	VIRGIN MEDIA PLEASE CHECK WITH SALES ADVISOR FOR AVAILABILITY.
	SHAVER SOCKET.
	DOUBLE SWITCHED SOCKET OUTLET WITH USB CHARGING POINT (LOW LEVEL).

OPTIONAL - TILING LEGEND.	
NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT. SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.	
HALF AND FULL HEIGHT TILING OPTIONS AVAILABLE TO W.C. BATHROOM AND ENSUITES.	

DOWNLIGHTER NOTES.

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- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

PLAN LEGEND.

- W. OPTIONAL WARDROBE.
- CHECK WITH SALES ADVISOR FOR STYLE AND AVAILABILITY.
- S.R. SHELF & RAIL ARRANGEMENT.
- CHECK WITH SALES ADVISOR FOR STYLE AND AVAILABILITY.

FIRST FLOOR PLAN

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
ASHP FIRST FLOOR CUSTOMER OPTIONS PLAN

Revision Note:

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L474517		

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TILING LEGEND.

NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT.
SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.

--- DENOTES EXTENT OF 1 ROW TILED SPLASHBACK

ELECTRICAL LEGEND.

○ DRUM LOW ENERGY LIGHT.

● LIGHT SWITCH.

≡ DMEV WALL MOUNTED EXTRACT FAN.

≡ RADIATOR.

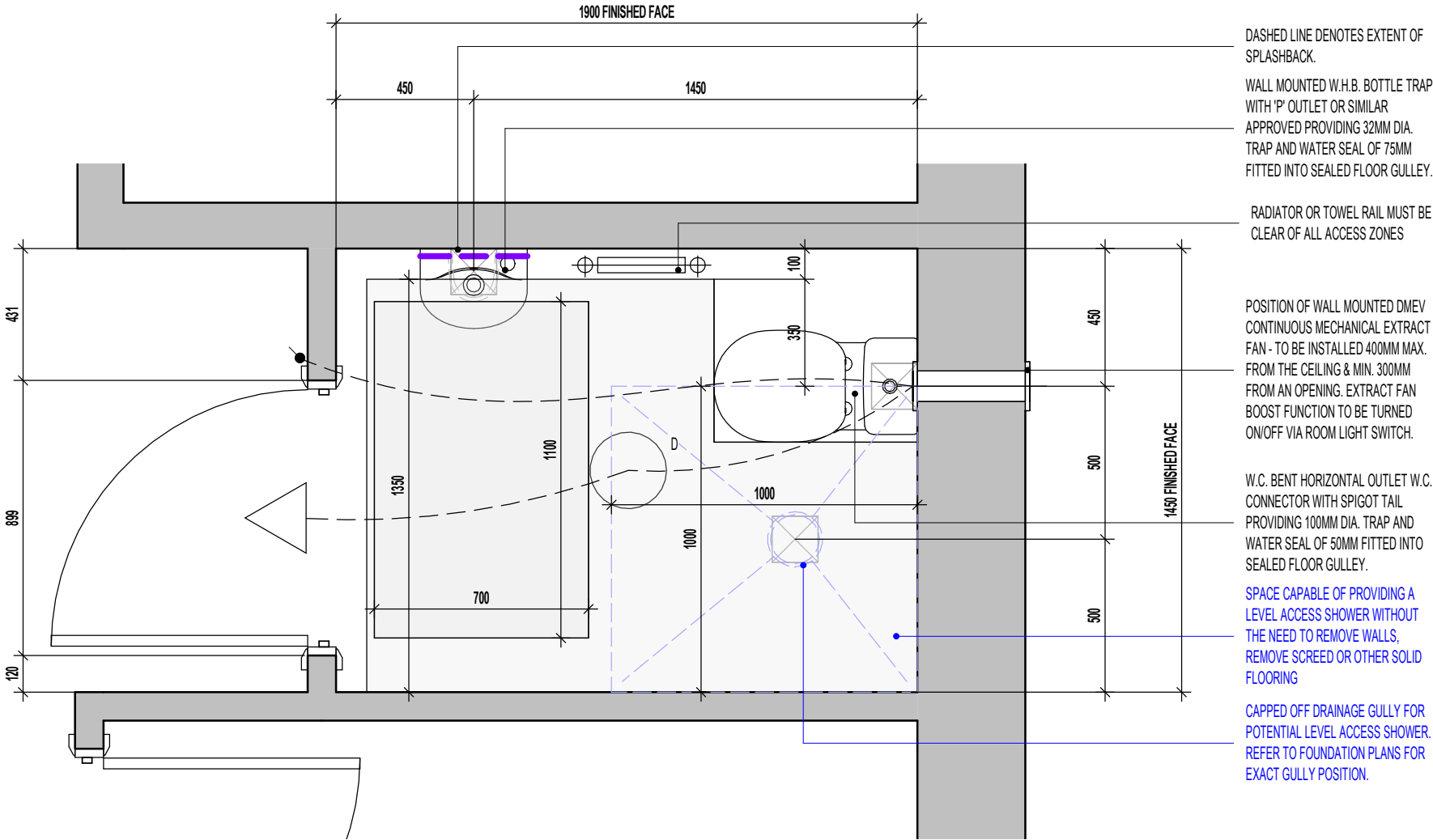
△ ISOLATOR SWITCH HIGH LEVEL.

SANITARYWARE SCHEDULE - W.C.

LOCATION	ITEM	SIZE
W.C.	WC PAN & CISTERN	360mm x 660mm
W.C.	350 WHB RH TAP & FULL PEDESTAL	350mm x 262mm

GENERAL NOTE
SANITARY FACILITIES (EXCLUDING ANY EN-SUITE ACCOMMODATION):
ALL WALLS, DUCTS, BOXINGS ETC. TO BE STRONG ENOUGH TO
SUPPORT GRAB RAILS / SEATS / OTHER ADAPTATIONS THAT COULD
IMPOSE LOADS UP TO 1.5KN/M²
(REFER TO STANDARD DETAIL DRAWING WD-GD-EN-038 - M4(2) GRAB
RAIL SUPPORT & ASSOCIATED STRUCTURAL CALCULATIONS)

(ITEMS SPECIFIC TO M4(2) COMPLIANCE) - GENERAL NOTE :
WHERE DWELLING IS TO BE M4(2) COMPLIANT, ITEMS DENOTED AS
SUCH TO BE PROVIDED AS STANDARD; OTHERWISE LAYOUT SUBJECT
TO APPROVED DOC. M4(1) CRITERIA.



WC LAYOUT
SCALE : 1:20

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

FOR ALTERNATIVE LED DOWNLIGHTER LOCATIONS, REFER TO CUSTOMER OPTIONS LAYOUT

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
WC LAYOUT

Revision Note:

Scale As indicated Drawn By G.T. Date 06.11.23

Drawing No. L474601 Revision

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CUSTOMER OPTIONS.

ITEMS HIGHLIGHTED IN BLUE DENOTE CUSTOMER OPTIONS.

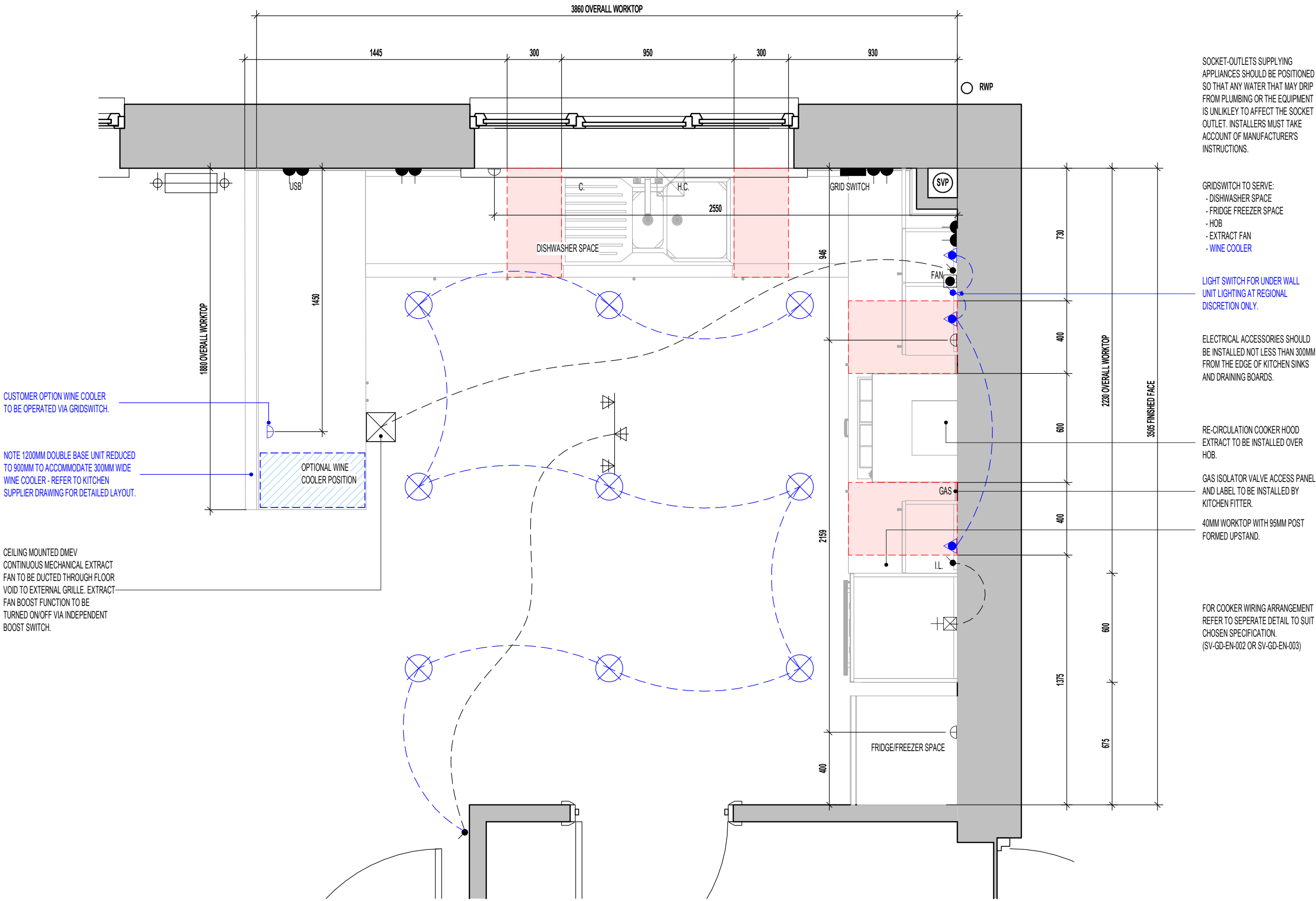
- WHERE APPLIANCE SPACES SHOWN, INTEGRATED APPLIANCES AVAILABLE
 - 22MM WORKTOP AVAILABLE
 - WINECOOLER AVAILABLE - LOCATION INDICATED
 - DOWNLIGHTER SPOTLIGHTS AVAILABLE - LOCATIONS AND QUANTITY INDICATED
 - LED UNDER UNIT LIGHT FITTING AND SWITCH.
 - PLINTH LIGHTS AND SWITCH.
 - INDUCTION HOB AVAILABLE.
 - DOUBLE OVEN AVAILABLE.
- PRODUCT VARIATIONS AVAILABLE. DISCUSS OPTIONS WITH SALES MANAGER.

DOWNLIGHTER NOTES.

- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.
- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.
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AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

REFER TO SUPPLIERS INFORMATION FOR CABINETY. CHECK WITH REGIONAL OFFICE FOR SPECIFICATION LEVEL.



ELECTRICAL LEGEND.	
	LED DOWNLIGHTERS (CUSTOMER OPTION).
	3 SPOT TRACK LIGHT.
	PRE-PRINTED ROCKERS TO GRIDSWITCH BANK.
	DMEV CEILING MOUNTED EXTRACT FAN
	LIGHT SWITCH.
	DMEV FAN INDEPENDANT BOOSTER SWITCH.
	SWITCH WITH NEON INDICATOR LIGHT.
	13AMP DOUBLE SWITCHED SOCKET. (1200MM ABOVE FLOOR TO TOP OF SOCKET)
	13AMP DOUBLE SWITCHED SOCKET WITH USB CHARGE POINT. (1200MM ABOVE FLOOR TO TOP OF SOCKET)
	13AMP UNSWITCHED SINGLE SOCKET FOR APPLIANCES - 450MM ABOVE FLOOR TO US SOCKET
	13AMP UNSWITCHED SINGLE SOCKET (CUSTOMER OPTIONAL WINE COOLER) - 450MM ABOVE FLOOR TO US SOCKET
	COOKER HOOD POWER. (1200MM ABOVE FLOOR TO TOP OF SOCKET)
	GAS FEED FOR HOB.
	45AMP COOKER CONTROL FEED. - 450MM ABOVE FLOOR TO US SOCKET
	HOT AND COLD WATER FEEDS.
	LED LIGHT FITTING (CUSTOMER OPTION)
	RADIATOR.

HATCH INDICATES ZONES WHERE NO ELECTRICAL FITTINGS SHOULD BE INSTALLED ABOVE THE WORKTOP.

KITCHEN LAYOUT

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
KITCHEN LAYOUT

Revision Note:

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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING

CUSTOMER OPTIONS.

ITEMS HIGHLIGHTED IN BLUE DENOTE CUSTOMER OPTIONS.

- WHERE APPLIANCE SPACES SHOWN, INTEGRATED APPLIANCES AVAILABLE

- 20MM WORKTOP AVAILABLE

- DOWNLIGHTER SPOTLIGHTS AVAILABLE - LOCATIONS AND QUANTITY INDICATED

PRODUCT VARIATIONS AVAILABLE, DISCUSS OPTIONS WITH SALES MANAGER.

DOWNLIGHTER NOTES.

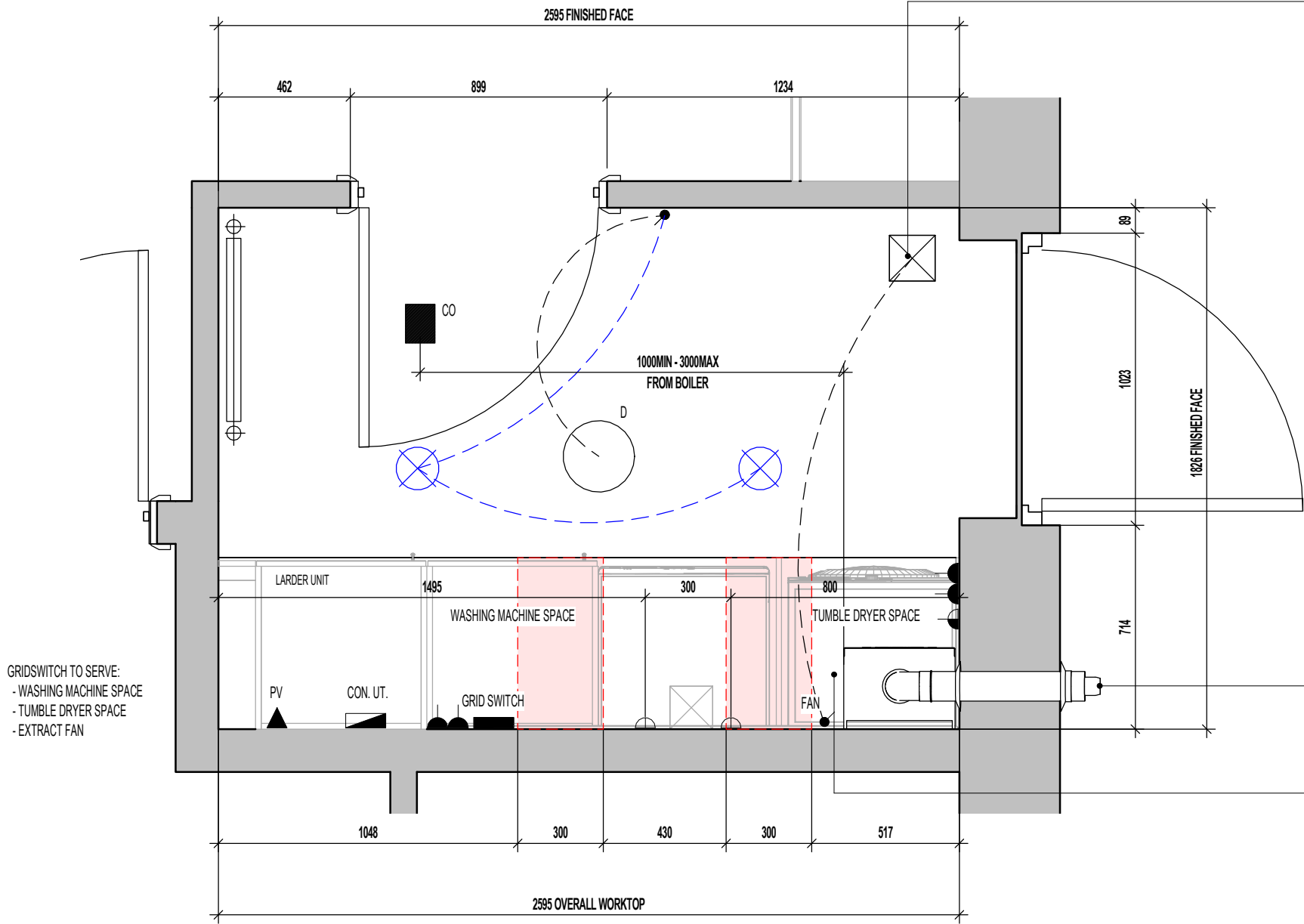
- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.

- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.

- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

REFER TO SUPPLIERS INFORMATION FOR CABINETRY. CHECK WITH REGIONAL OFFICE FOR SPECIFICATION LEVEL.



CEILING MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN TO BE DUCTED THROUGH FLOOR VOID TO EXTERNAL GRILLE. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA INDEPENDENT BOOST SWITCH.

SOCKET-OUTLETS SUPPLYING APPLIANCES SHOULD BE POSITIONED SO THAT ANY WATER THAT MAY DRIP FROM PLUMBING OR THE EQUIPMENT IS UNLIKELY TO AFFECT THE SOCKET OUTLET. INSTALLERS MUST TAKE ACCOUNT OF MANUFACTURER'S INSTRUCTIONS.

BALANCED FLUE BOILER EXTRACT TAKEN THROUGH TO EXTERNAL GRILLE ENSURE 300MM MIN. CLEAR DISTANCE FROM ANY OPENING AND BOUNDARY LINE, 150MM MIN. FROM A RWP. REFER TO STANDARD BOILER DETAIL DRAWING NO. SV-GD-EN-004 & 005.

40MM WORKTOP WITH 95MM POST FORMED UPSTAND.

ELECTRICAL LEGEND.

	DRUM LOW ENERGY LIGHT
	LED DOWNLIGHTER (CUSTOMER OPTION)
	LIGHT SWITCH.
	DMEV EXTRACT FAN INDEPENDENT BOOSTER SWITCH.
	13AMP UNSWITCHED SINGLE SOCKET FOR APPLIANCES - 450MM ABOVE FLOOR TO U/S SOCKET
	13AMP DOUBLE SWITCHED SOCKET. (1200MM ABOVE FLOOR TO TOP OF SOCKET)
	PRE-PRINTED ROCKERS TO GRIDSWITCH BANK.
	P.V. INVERTER ISOLATION SWITCH & PV GENERATION METER TO SPECIALISTS DETAILS.
	COLD WATER FEED.
	DMEV CEILING MOUNTED EXTRACT FAN.
	BOILER FUSED SPUR.
	CEILING MOUNTED CARBON MONOXIDE DETECTOR.
	RADIATOR.

HATCH INDICATES ZONES WHERE NO ELECTRICAL FITTINGS SHOULD BE INSTALLED ABOVE THE WORKTOP.

LAUNDRY LAYOUT

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
LAUNDRY LAYOUT

Revision Note:

Scale	Drawn By	Date
1 : 20	G.T.	06.11.23

Drawing No.	Revision
L474603	

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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

CUSTOMER OPTIONS.

ITEMS HIGHLIGHTED IN BLUE DENOTE CUSTOMER OPTIONS.

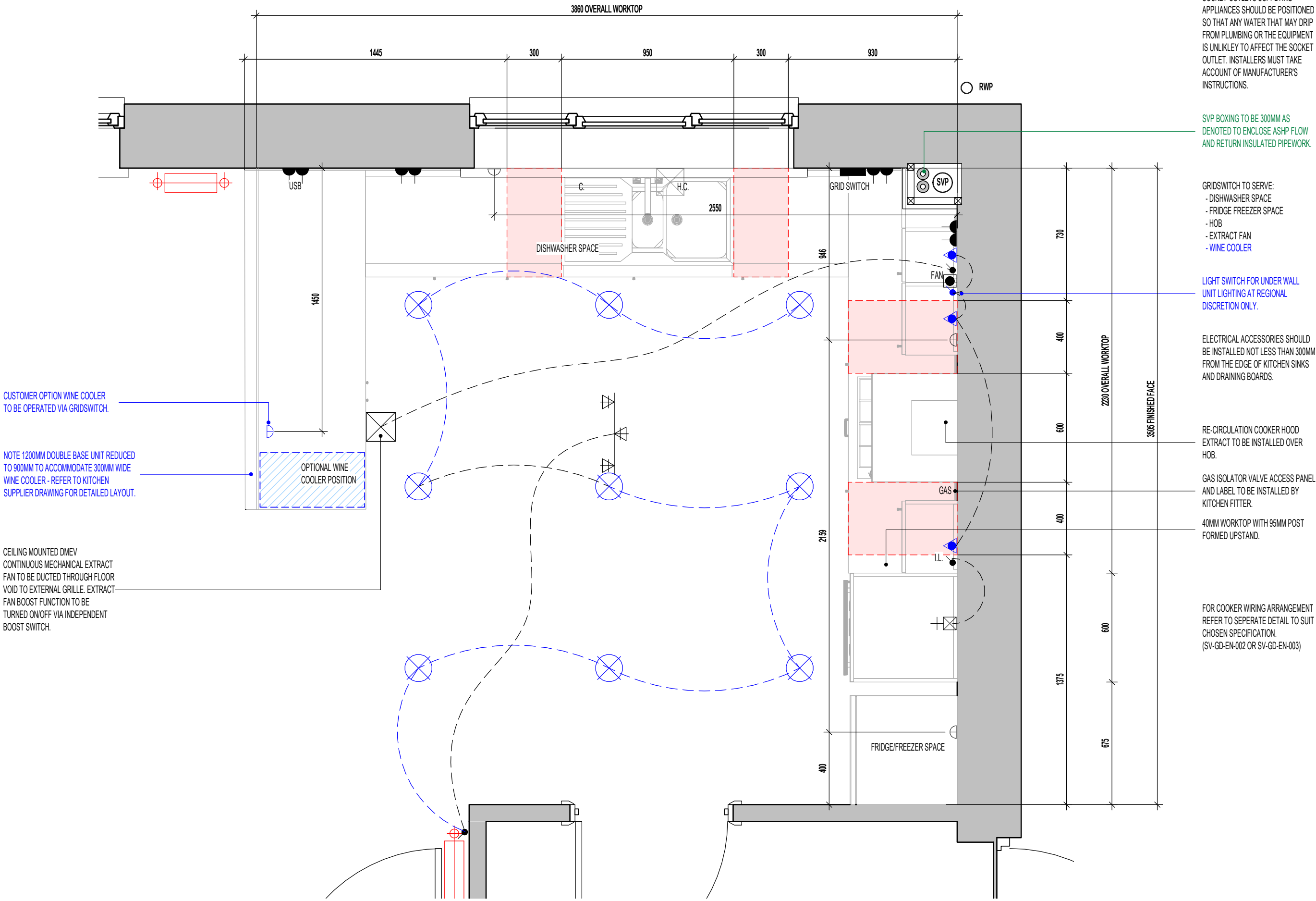
- WHERE APPLIANCE SPACES SHOWN, INTEGRATED APPLIANCES AVAILABLE
 - 22MM WORKTOP AVAILABLE
 - WINECOOLER AVAILABLE - LOCATION INDICATED
 - DOWNLIGHTER SPOTLIGHTS AVAILABLE - LOCATIONS AND QUANTITY INDICATED
 - LED UNDER UNIT LIGHT FITTING AND SWITCH.
 - PLINTH LIGHTS AND SWITCH.
 - INDUCTION HOB AVAILABLE.
 - DOUBLE OVEN AVAILABLE.
- PRODUCT VARIATIONS AVAILABLE. DISCUSS OPTIONS WITH SALES MANAGER.

DOWNLIGHTER NOTES.

- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.
- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.
- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

REFER TO SUPPLIERS INFORMATION FOR CABINETRY. CHECK WITH REGIONAL OFFICE FOR SPECIFICATION LEVEL.



KITCHEN LAYOUT

ELECTRICAL LEGEND.	
	LED DOWNLIGHTERS (CUSTOMER OPTION).
	3 SPOT TRACK LIGHT.
	PRE-PRINTED ROCKERS TO GRIDSWITCH BANK.
	DMEV CEILING MOUNTED EXTRACT FAN
	LIGHT SWITCH.
	DMEV FAN INDEPENDANT BOOSTER SWITCH.
	SWITCH WITH NEON INDICATOR LIGHT.
	13AMP DOUBLE SWITCHED SOCKET. (1200MM ABOVE FLOOR TO TOP OF SOCKET)
	13AMP DOUBLE SWITCHED SOCKET WITH USB CHARGE POINT. (1200MM ABOVE FLOOR TO TOP OF SOCKET)
	13AMP UNSWITCHED SINGLE SOCKET FOR APPLIANCES - 450MM ABOVE FLOOR TO UIS SOCKET
	13AMP UNSWITCHED SINGLE SOCKET (CUSTOMER OPTIONAL WINE COOLER) - 450MM ABOVE FLOOR TO UIS SOCKET
	COOKER HOOD POWER. (1200MM ABOVE FLOOR TO TOP OF SOCKET)
	45AMP COOKER CONTROL FEED. - 450MM ABOVE FLOOR TO UIS SOCKET
	H. C. HOT AND COLD WATER FEEDS.
	LED LIGHT FITTING (CUSTOMER OPTION)
	RADIATOR.

HATCH INDICATES ZONES WHERE NO ELECTRICAL FITTINGS SHOULD BE INSTALLED ABOVE THE WORKTOP.

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
ASHP KITCHEN LAYOUT

Revision Note:		
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ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING

CUSTOMER OPTIONS.

ITEMS HIGHLIGHTED IN BLUE DENOTE CUSTOMER OPTIONS.

- WHERE APPLIANCE SPACES SHOWN, INTEGRATED APPLIANCES AVAILABLE

- 20MM WORKTOP AVAILABLE

- DOWNLIGHTER SPOTLIGHTS AVAILABLE - LOCATIONS AND QUANTITY INDICATED

PRODUCT VARIATIONS AVAILABLE, DISCUSS OPTIONS WITH SALES MANAGER.

DOWNLIGHTER NOTES.

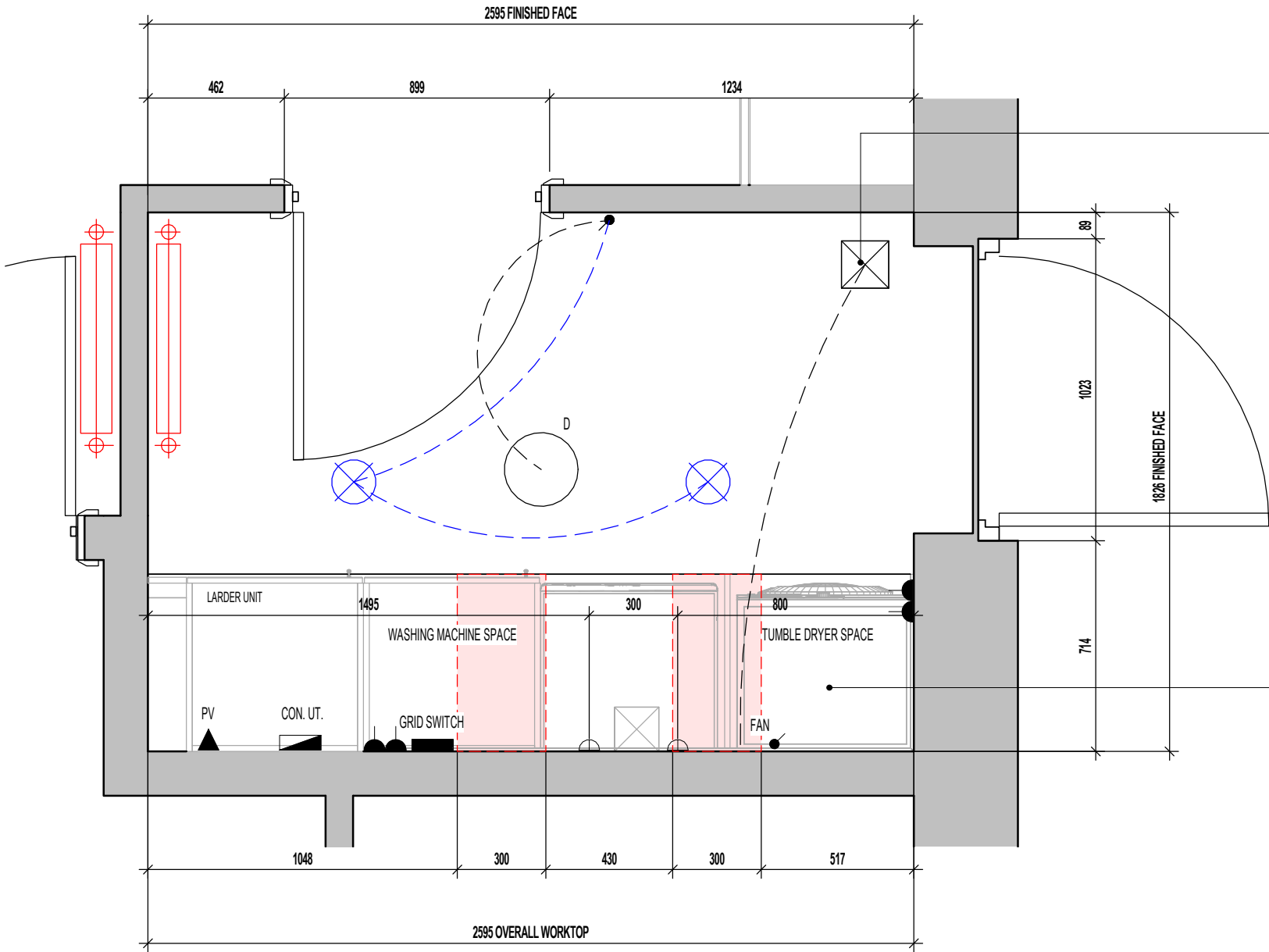
- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.

- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.

- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

REFER TO SUPPLIERS INFORMATION FOR CABINETRY. CHECK WITH REGIONAL OFFICE FOR SPECIFICATION LEVEL.



CEILING MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN TO BE DUCTED THROUGH FLOOR VOID TO EXTERNAL GRILLE. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA INDEPENDENT BOOST SWITCH.

SOCKET-OUTLETS SUPPLYING APPLIANCES SHOULD BE POSITIONED SO THAT ANY WATER THAT MAY DRIP FROM PLUMBING OR THE EQUIPMENT IS UNLIKELY TO AFFECT THE SOCKET OUTLET. INSTALLERS MUST TAKE ACCOUNT OF MANUFACTURER'S INSTRUCTIONS.

GRIDSWITCH TO SERVE:

- WASHING MACHINE SPACE
- TUMBLE DRYER SPACE
- EXTRACT FAN

40MM WORKTOP WITH 95MM POST FORMED UPSTAND.

ELECTRICAL LEGEND.

	DRUM LOW ENERGY LIGHT
	LED DOWNLIGHTER (CUSTOMER OPTION)
	LIGHT SWITCH.
	DMEV EXTRACT FAN INDEPENDENT BOOSTER SWITCH.
	13AMP UNSWITCHED SINGLE SOCKET FOR APPLIANCES - 450MM ABOVE FLOOR TO U/S SOCKET
	13AMP DOUBLE SWITCHED SOCKET. (1200MM ABOVE FLOOR TO TOP OF SOCKET)
	PRE-PRINTED ROCKERS TO GRIDSWITCH BANK.
	P.V. INVERTER ISOLATION SWITCH & PV GENERATION METER TO SPECIALISTS DETAILS.
	COLD WATER FEED.
	DMEV CEILING MOUNTED EXTRACT FAN.
	RADIATOR.

HATCH INDICATES ZONES WHERE NO ELECTRICAL FITTINGS SHOULD BE INSTALLED ABOVE THE WORKTOP.

LAUNDRY LAYOUT

Project Title

LONDON ROAD, WOOLMER GREEN

L474 - 4B / 8P / 1704 - FAVERWOOD

2024 NATIONAL PORTFOLIO

Drawing Title

ASHP LAUNDRY LAYOUT

Revision Note:

Scale	Drawn By	Date
1 : 20	G.T.	14.03.25
Drawing No.	Revision	
L474612		

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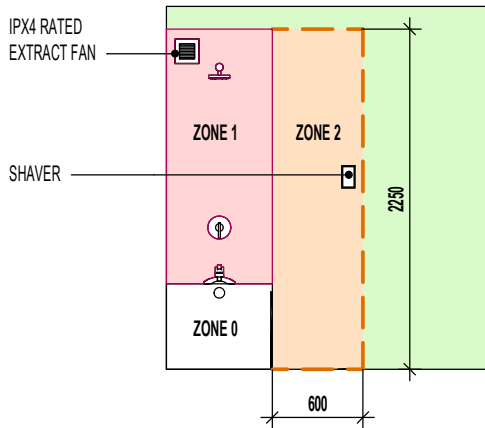
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TILING LEGEND.	
NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT. SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.	
	DENOTES EXTENT OF 400MM HEIGHT OVER BATH TILING.
	DENOTES EXTENT OF 1 ROW TILED SPLASHBACK.
	DENOTES EXTENT OF FULL HEIGHT TILING.



ELECTRICAL LEGEND.	
	DRUM LOW ENERGY LIGHT.
	LIGHT SWITCH.
	DMEV WALL MOUNTED EXTRACT FAN.
	RADIATOR.
	ISOLATOR SWITCH HIGH LEVEL.

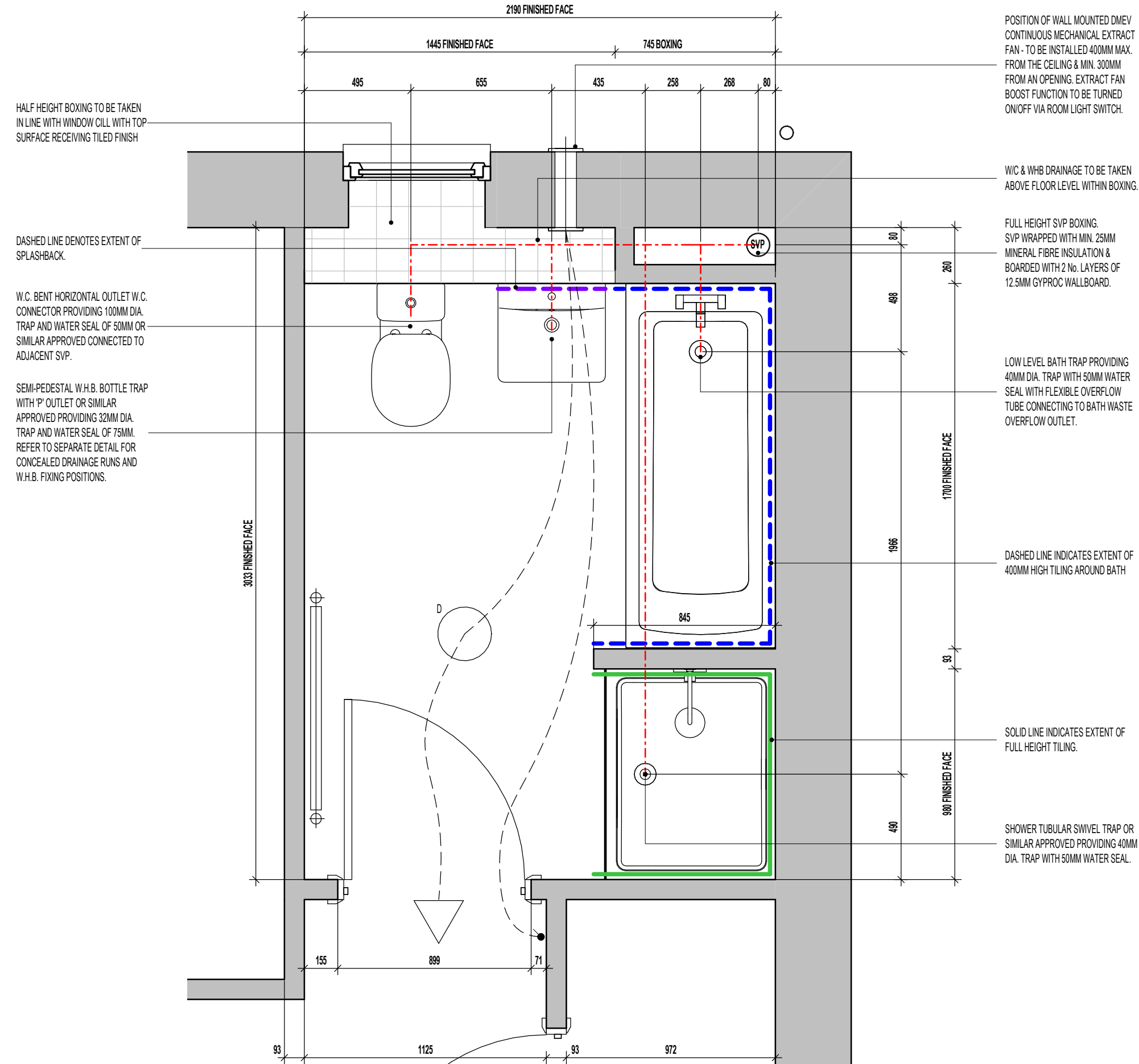
ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS:-

ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED FOR AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

SANITARYWARE SCHEDULE - BATHROOM		
LOCATION	ITEM	SIZE
BATH.	500 SEMI PEDESTAL WHB	500mm x 460mm
BATH.	IS SIMPLICITY SHOWER TRAY - L5117	1010mm x 810mm
BATH.	SINGLE ENDED BATH	1700mm x 700mm
BATH.	WC PAN & CISTERN	360mm x 660mm

GENERAL NOTE
SANITARY FACILITIES (EXCLUDING ANY EN-SUITE ACCOMMODATION):
ALL WALLS, DUCTS, BOXINGS ETC. TO BE STRONG ENOUGH TO SUPPORT GRAB RAILS / SEATS / OTHER ADAPTATIONS THAT COULD IMPOSE LOADS UP TO 1.5KN/M²
(REFER TO STANDARD DETAIL DRAWING WD-GD-EN-438 - M4(2) GRAB RAIL SUPPORT & ASSOCIATED STRUCTURAL CALCULATIONS)

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74



BATHROOM LAYOUT
SCALE : 1:20

FOR ALTERNATIVE LED DOWNLIGHTER LOCATIONS, REFER TO CUSTOMER OPTIONS LAYOUT

Project Title	Drawing Title
LONDON ROAD, WOOLMER GREEN L474 - 4B / 8P / 1704 - FAVERWOOD 2024 NATIONAL PORTFOLIO	BATHROOM LAYOUT

Revision Note:		
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L474604		

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ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

TILING LEGEND.

NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT.
SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.



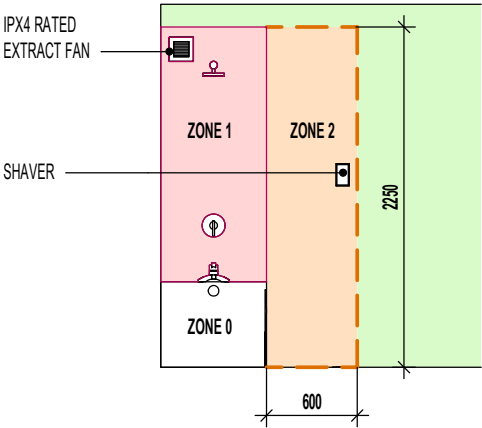
DENOTES EXTENT OF FULL HEIGHT TILING.



DENOTES EXTENT OF 1 ROW TILED SPLASHBACK.

SANITARYWARE SCHEDULE - EN SUITE 1

LOCATION	ITEM	SIZE
E/S 1	WC PAN & CISTERN	360mm x 660mm
E/S 1	IS SIMPLICITY SHOWER TRAY - L5118	1210mm x 770mm
E/S 1	500 SEMI PEDESTAL WHB	500mm x 460mm



ELECTRICAL LEGEND.

	DRUM LOW ENERGY LIGHT.
	LIGHT SWITCH.
	DMEV WALL MOUNTED EXTRACT FAN.
	RADIATOR.
	ISOLATOR SWITCH HIGH LEVEL.

ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS:-

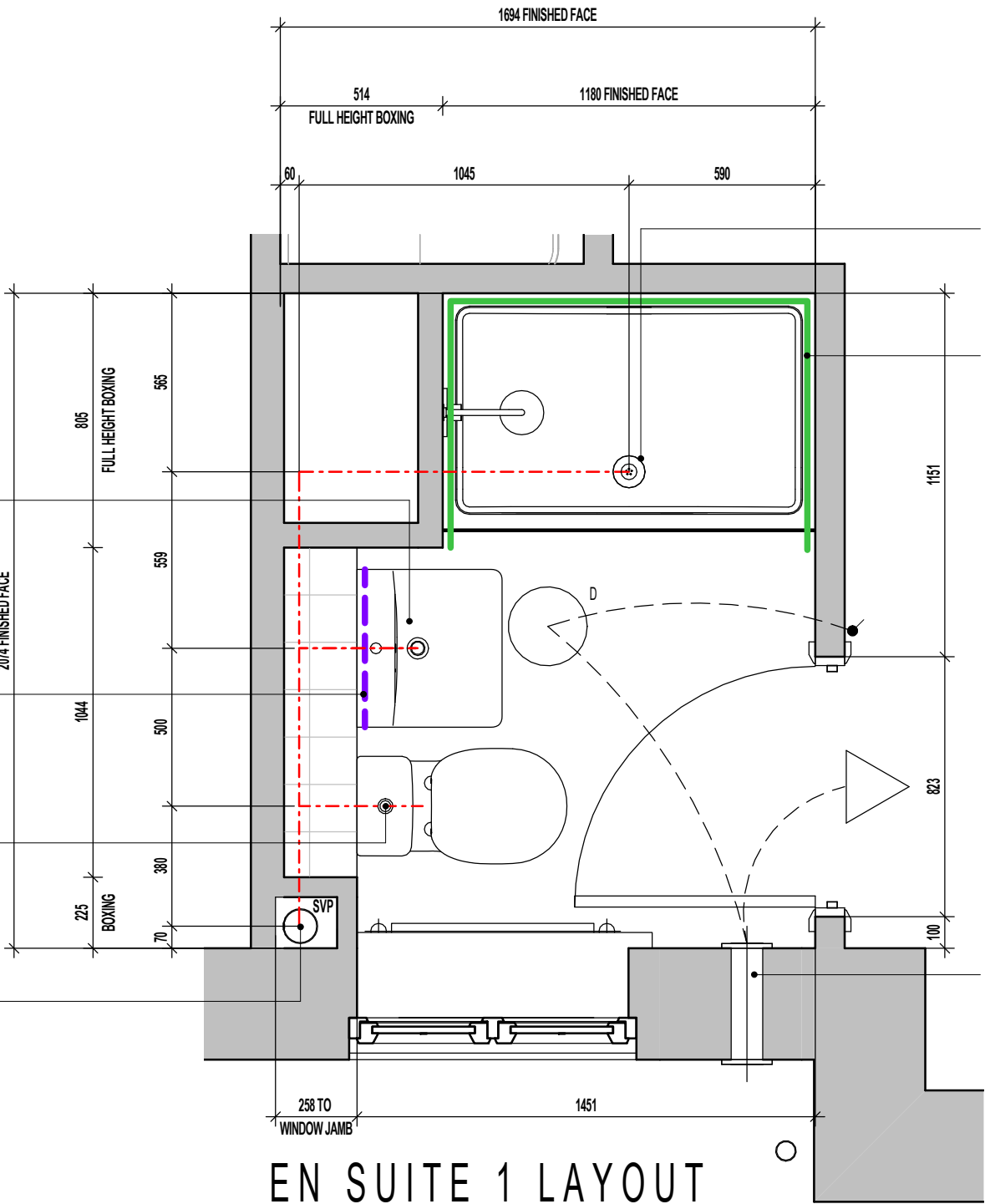
ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED
AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES
ALLOWED FOR AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF
SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS
THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

SEMI-PEDESTAL W.H.B. BOTTLE TRAP
WITH 'P' OUTLET OR SIMILAR
APPROVED PROVIDING 32MM DIA.
TRAP AND WATER SEAL OF 75MM.
REFER TO SEPARATE DETAIL FOR
CONCEALED DRAINAGE RUNS AND
W.H.B. FIXING POSITIONS.

DASHED LINE DENOTES EXTENT OF
SPLASHBACK.

W.C. BENT HORIZONTAL OUTLET W.C.
CONNECTOR PROVIDING 100MM DIA.
TRAP AND WATER SEAL OF 50MM OR
SIMILAR APPROVED CONNECTED TO
ADJACENT SVP.

FULL HEIGHT SVP BOXING.
SVP WRAPPED WITH MIN. 25MM
MINERAL FIBRE INSULATION &
BOARDED WITH 2 No. LAYERS OF
12.5MM GYPROC WALLBOARD.



EN SUITE 1 LAYOUT
SCALE : 1:20

FOR ALTERNATIVE LED DOWNLIGHTER LOCATIONS, REFER TO CUSTOMER OPTIONS LAYOUT

Project Title
LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
EN SUITE 1 LAYOUT

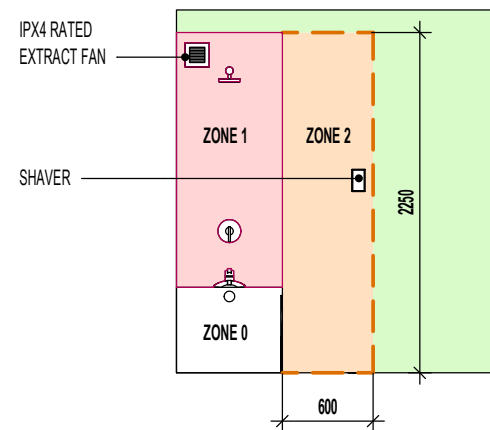
Revision Note:

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Drawing No.	L474605	Revision			

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

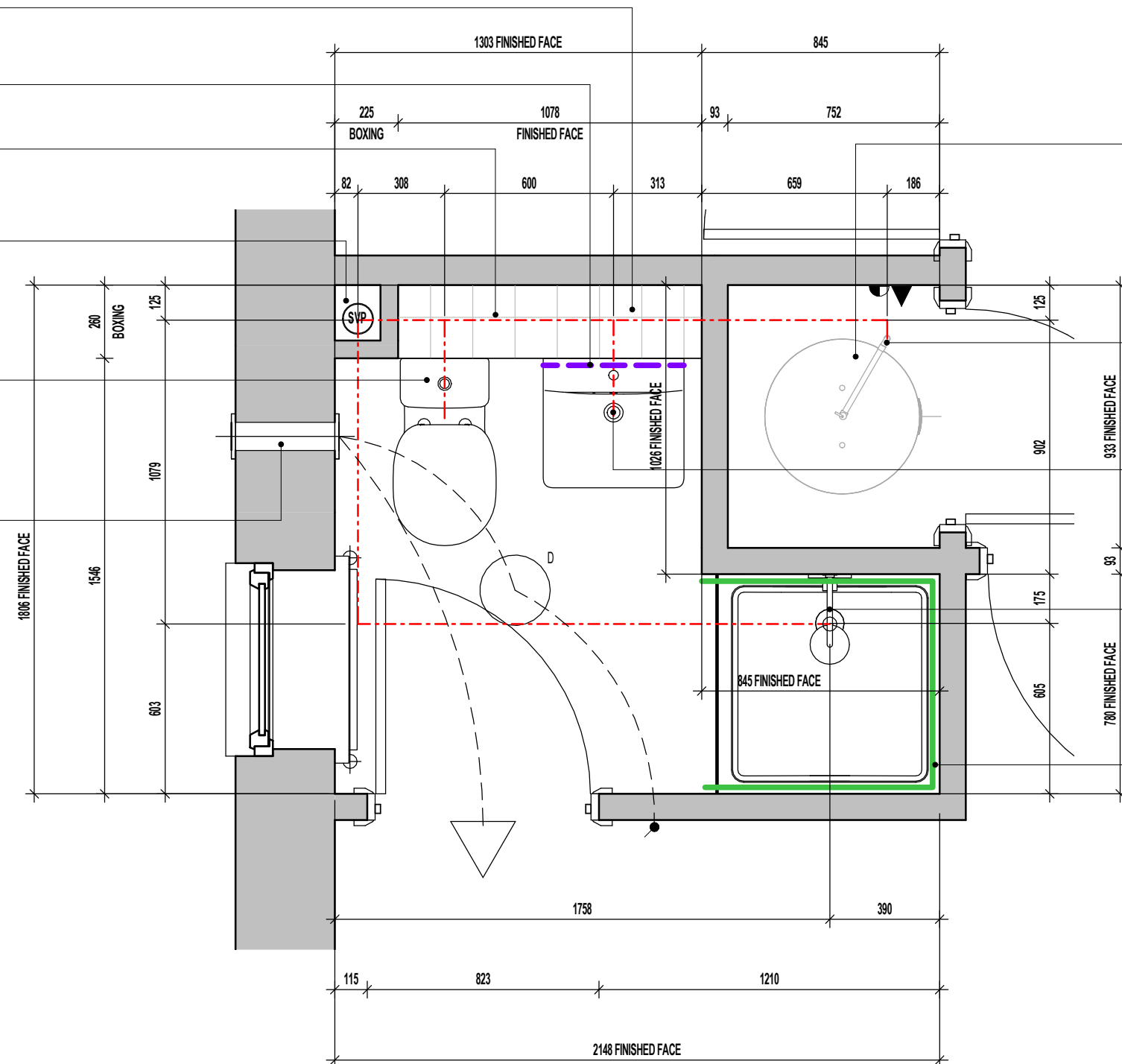
NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT. SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.	
	DENOTES EXTENT OF FULL HEIGHT TILING.
	DENOTES EXTENT OF 1 ROW TILED SPLASHBACK.



D	DRUM LOW ENERGY LIGHT.
	LIGHT SWITCH.
	DMEV WALL MOUNTED EXTRACT FAN.
	RADIATOR.
	ISOLATOR SWITCH HIGH LEVEL.

ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED FOR AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH ROOF
VOID TO TILE VENT. EXTRACT FAN
BOOST FUNCTION TO BE TURNED
ON/OFF VIA ROOM LIGHT SWITCH.



SOLID LINE INDICATES EXTENT OF
FULL HEIGHT TILING.

LOCATION	ITEM	SIZE
E/S 2	WC PAN & CISTERN	360mm x 660mm
E/S 2	500 SEMI PEDESTAL WHB	500mm x 460mm
E/S 2	IS SIMPLICITY SHOWER TRAY - L5114	810mm x 810mm

EN SUITE 2 LAYOUT
SCALE : 1:20

FOR ALTERNATIVE LED DOWNLIGHTER LOCATIONS, REFER TO CUSTOMER OPTIONS LAYOUT

Drawing Title

EN SUITE 2 LAYOUT

Scale	Drawn By	Date
As indicated	G.T.	06.11.23

Drawing No.	Revision
L474606	

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

MILLER STANDARD WINDOW SCHEDULE																	
	LOCATION	WIDTH (mm)	HEIGHT (mm)	SIDE HUNG	TOP HUNG	NON-OPENING CASEMENTS	GLAZING STYLE	GLAZING PATTERN	EGRESS WINDOW	TOUGHENED SAFETY GLASS	RESTRICTOR	GUARDING	BS PAS 24	CILL TYPE	VENTILATOR EA (mm2)	OPTIONAL	COMMENTS
W1	DINING	1810	1350	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E					Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²		NB - GLAZING TO COMMENCE MIN. 850MM FROM FFL TO FIXED CASEMENT
W2	LOUNGE	1810	1350	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E					Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²		
W3	KITCHEN	1810	1050		Yes	SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E				Yes	SEE WORKING DRAWING ELEVATIONS	0 mm²			
W4	BED 1	1248	1125	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E	Yes			Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²			
W5	E/S 1	910	1050		Yes	SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	OBSCURE LOW - E				Yes	SEE WORKING DRAWING ELEVATIONS	0 mm²			
W6	BED 2	1248	1125	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E	Yes			Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²			
W7	E/S 2	685	1050		Yes	SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	OBSCURE LOW - E					SEE WORKING DRAWING ELEVATIONS	0 mm²			
W8	BED 4	1248	1125	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E	Yes			Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²			
W9	BED 3	1248	1125	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E	Yes			Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²			
W10	BATH.	685	1050		Yes	SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	OBSCURE LOW - E					SEE WORKING DRAWING ELEVATIONS	0 mm²			
TOTAL 28,000mm² INCLUDING 4000mm² IN FRENCH DOOR D2																	

BACKGROUND VENTILATORS -
FOR CONTINUOUS MECHANICAL EXTRACT VENTILATION SYSTEMS (dMEV)

IN ACCORDANCE WITH APPROVED DOCUMENT F1(1), DWELLINGS INCORPORATING A CONTINUOUS MECHANICAL EXTRACT VENTILATION SYSTEM, SHOULD ALLOW FOR BACKGROUND VENTILATORS THAT SATISFY ALL OF THE FOLLWING CONDITIONS: -

- a. NOT BE IN WET ROOMS;
- b. PROVIDE A MINIMUM EQUIVALENT AREA OF 4000MM² FOR EACH HABITABLE ROOM IN THE DWELLING;
- c. PROVIDE A MINIMUM TOTAL NUMBER OF VENTILATORS THAT IS THE SAME AS THE NUMBER OF BEDROOMS PLUS TWO-VENTILATORS; I.E: -

• 1 BED DWELLING = 3 VENTILATORS (MIN.)

• 2 BED DWELLING = 4 VENTILATORS (MIN.)

• 3 BED DWELLING = 5 VENTILATORS (MIN.)

• 4 BED DWELLING = 6 VENTILATORS (MIN.)

• 5 BED DWELLING = 7 VENTILATORS (MIN.)

GENERAL NOTE
M4(2) WINDOW HANDLE POSITIONS:

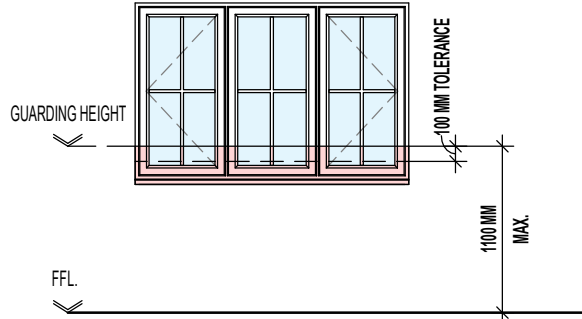
- HANDLE TO AT LEAST ONE WINDOW IN PRINCIPAL LIVING AREA LOCATED BETWEEN 450-1200MM ABOVE FLOOR LEVEL.
- HANDLES TO ALL OTHER WINDOWS TO BE LOCATED BETWEEN 450-1400MM ABOVE FLOOR LEVEL.

MILLER STANDARD OPENABLE AREA SCHEDULE -
PER PANE

OPENING REF.	OPENING HEIGHT	OPENING WIDTH
D2	2.06	0.87
D2	1.99	0.37
D2	1.99	0.37
D3	1.99	0.94
W1	1.24	0.55
W2	1.24	0.55
W3	0.94	0.55
W4	1.02	0.57
W5	0.94	0.40
W6	1.02	0.57
W7	0.94	0.61
W8	1.02	0.57
W9	1.02	0.57
W10	0.94	0.61

MILLER STANDARD GLAZING AREA SCHEDULE -
PER PANE

REF.	OPENER GLAZING AREA	FIXED GLAZING AREA
D1	0.45 m²	0.45 m²
D2	1.09 m²	
D2	0.43 m²	
D2	0.43 m²	
D3	0.55 m²	
W1	0.45 m²	0.45 m²
W2	0.45 m²	0.45 m²
W3	0.33 m²	0.46 m²
W4	0.38 m²	0.38 m²
W5	0.21 m²	0.21 m²
W6	0.38 m²	0.38 m²
W7	0.37 m²	
W8	0.38 m²	0.38 m²
W9	0.38 m²	0.38 m²
W10	0.37 m²	



WHERE FIRST FLOOR WINDOWS FORM PART OF THE OVERHEATING MITIGATION STRATEGY, ENSURE GUARDING IS INSTALLED AS PER THE DIAGRAM ABOVE AND DESIGNED AS FOLLOWS:

- GUARDING SHOULD BE SIZED TO PREVENT THE PASSAGE OF A 100MM SPHERE.
- ANY HOLE WHICH ALLOWS THE PASSAGE OF AN 8MM DIAMETER ROD SHOULD ALSO ALLOW THE PASSAGE OF A 25MM DIAMETER ROD. SUCH HOLES SHOULD NOT TAPER IN A WAY THAT ALLOWS FINGER ENTRAPMENT.
- ANY WALL, PARAPET, BALUSTRADE, SHUTTERS WITH A CHILD-PROOF LOCK OR SIMILAR OBSTRUCTION CAN BE USED AS GUARDING.
- ENSURE THAT GUARDING CAN RESIST, AS A MINIMUM, THE LOADS GIVEN IN BS EN 1991-1-1 WITH ITS UK NATIONAL ANNEX AND PD 6688-1-1.
- WHERE GLAZING IS USED IN THE GUARDING, REFER TO SECTION 5 OF APPROVED DOCUMENT K.

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23

Drawing No.	Revision
L474701	

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Project Title

LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title

WINDOW SCHEDULE

MILLER STANDARD EXTERNAL AND INTERNAL DOOR SCHEDULE															
REF.	LOCATION	DOOR CONFIGURATION	STRUCTURAL OPENING		DOOR PANEL DIMENSIONS			DOOR STYLE	GLAZING REF.	SIDELIGHT REF.	FINISH	TOUGHENED SAFETY GLASS	WALL TYPE	BS PAS 24	COMMENTS
			HEIGHT	WIDTH	DOOR PANEL HEIGHT	DOOR PANEL WIDTH	DOOR PANEL THICKNESS								
D1	HALL	SINGLE EXTERNAL	2100	1023		914	44	CHECK WITH REGION	OBSCURE LOW - E	N/A	SMOOTH	Yes	CAVITY WALL	Yes	
D2	FAMILY/ BREAKFAST	EXTERNAL FRENCH DOOR	2100	1810		1707	44	FRENCH DOORS	CLEAR LOW - E	YES	P.V.C.U.	Yes	CAVITY WALL	Yes	OVERALL STRUCTURAL OPENING INCLUDING 2No. GLAZED SIDE PANELS = 2710MM. - 4000MM2 VENT
D3	LAUNDRY	SINGLE EXTERNAL	2100	1023		914	44	3 PANEL	OBSCURE LOW - E	N/A	SMOOTH	Yes	CAVITY WALL	Yes	
D4	LOUNGE	SINGLE INTERNAL	2100	939	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	BLOCK WALL	No	
D5	KITCHEN	SINGLE INTERNAL	2100	939	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	BLOCK WALL	No	
D6	LAUNDRY	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D7	W.C.	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D8	DINING	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D9	BED 2	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D10	E/S 2	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D11	L.	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D12	BED 4	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D13	BED 3	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D14	BATH.	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D15	ST.	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D16	BED 1	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D17	DRESS.	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D18	E/S 1	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

Revision Note:

Project Title

LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title

DOOR SCHEDULE

Scale

Drawn By

Date

N/A

G.T.

06.11.23

Drawing No.

Revision

L474702



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MILLER STANDARD LINTEL SCHEDULE - DOORS				
REF.	LOCATION	STRUCTURAL OPENING WIDTH	WALL TYPE	COMMENTS
D1	HALL	1023	CAVITY WALL	
D2	FAMILY/ BREAKFAST	1810 (2710 INC. SIDE PANELS)	CAVITY WALL	OVERALL STRUCTURAL OPENING INCLUDING 2No. GLAZED SIDE PANELS = 2710MM. - 4000MM2 VENT
D3	LAUNDRY	1023	CAVITY WALL	
D4	LOUNGE	939	BLOCK WALL	
D5	KITCHEN	939	BLOCK WALL	

MILLER STANDARD LINTEL SCHEDULE - WINDOWS			
REF.	LOCATION	STRUCTURAL OPENING WIDTH	COMMENTS
W1	DINING	1810	
W2	LOUNGE	1810	NB - GLAZING TO COMMENCE MIN. 850MM FROM FFL TO FIXED CASEMENT
W3	KITCHEN	1810	
W4	BED 1	1248	
W5	E/S 1	910	
W6	BED 2	1248	
W7	E/S 2	685	
W8	BED 4	1248	
W9	BED 3	1248	
W10	BATH.	685	

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

Revision Note:

Project Title

LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

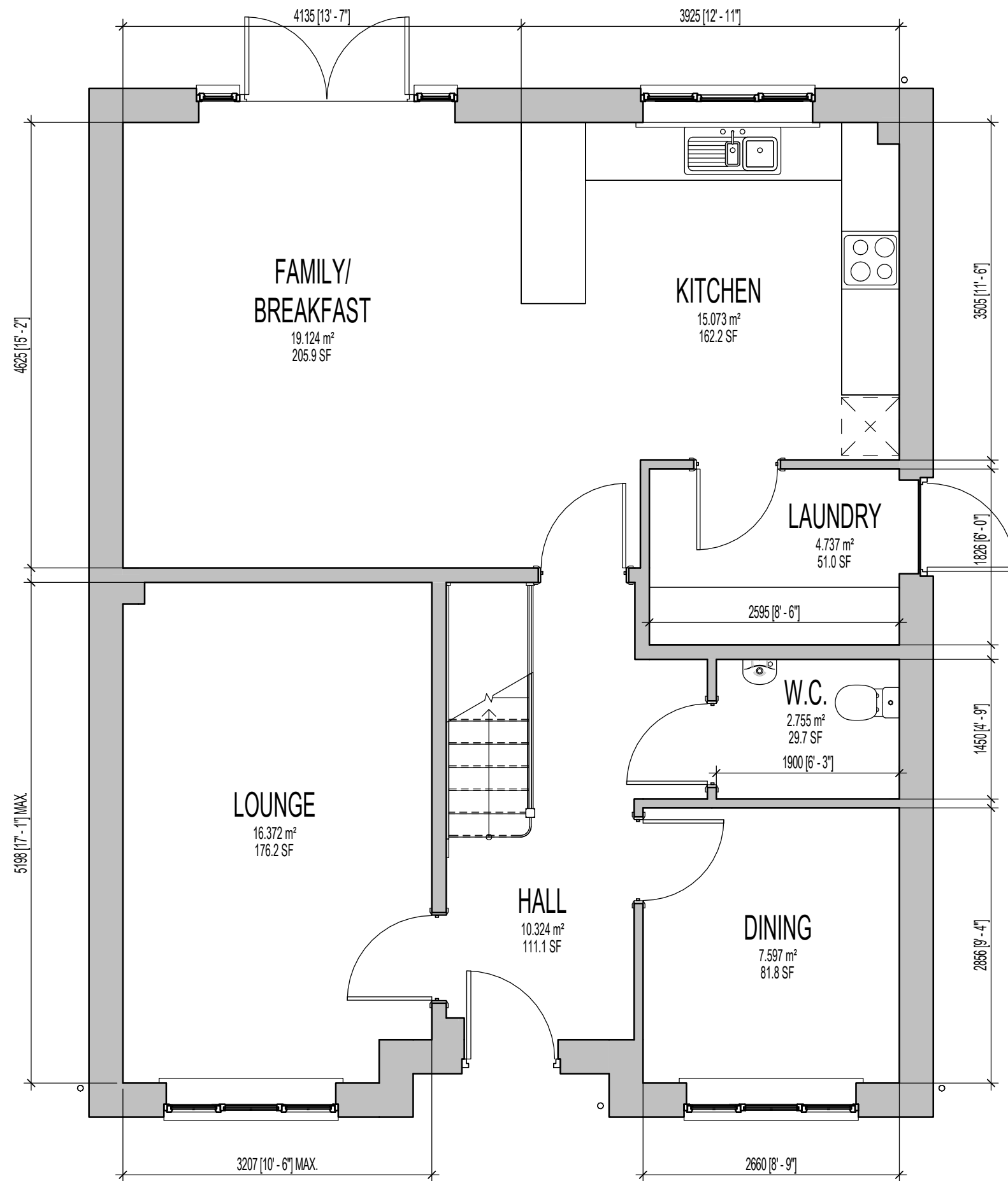
Drawing Title

LINTEL SCHEDULE

Scale	Drawn By	Date
N/A	G.T.	29.10.24
Drawing No.	Revision	
L474703		



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MILLER STANDARD ROOM SIZE SCHEDULE							
ROOM NAME	FLOOR	METRIC				IMPERIAL	
		WIDTH		DEPTH		WIDTH	DEPTH
LOUNGE	GROUND FLOOR	3207	MAX.	X 5198	MAX.	10' - 6"	X 17' - 1"
KITCHEN	GROUND FLOOR	3925		X 3505		12' - 11"	X 11' - 6"
FAMILY/ BREAKFAST	GROUND FLOOR	4135		X 4625		13' - 7"	X 15' - 2"
DINING	GROUND FLOOR	2660		X 2856		8' - 9"	X 9' - 4"
LAUNDRY	GROUND FLOOR	2595		X 1826		8' - 6"	X 6' - 0"
W.C.	GROUND FLOOR	1900		X 1450		6' - 3"	X 4' - 9"
BED 1	FIRST FLOOR	2916	MAX.	X 3516	MAX.	9' - 7"	X 11' - 6"
E/S 1	FIRST FLOOR	1682	MAX.	X 2074	MAX.	5' - 6"	X 6' - 10"
DRESS.	FIRST FLOOR	2508		X 1540		8' - 3"	X 5' - 1"
BED 2	FIRST FLOOR	3264	MAX.	X 3348	MAX.	10' - 9"	X 11' - 0"
E/S 2	FIRST FLOOR	2148	MAX.	X 1546	MAX.	7' - 1"	X 5' - 1"
BED 3	FIRST FLOOR	3223		X 3498		10' - 7"	X 11' - 6"
BED 4	FIRST FLOOR	2449	MAX.	X 4621	MAX.	8' - 0"	X 15' - 2"
BATH.	FIRST FLOOR	2190	MAX.	X 2773	MAX.	7' - 2"	X 9' - 1"

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

GROUND FLOOR PLAN

Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23

Drawing No.	Revision
L474901	

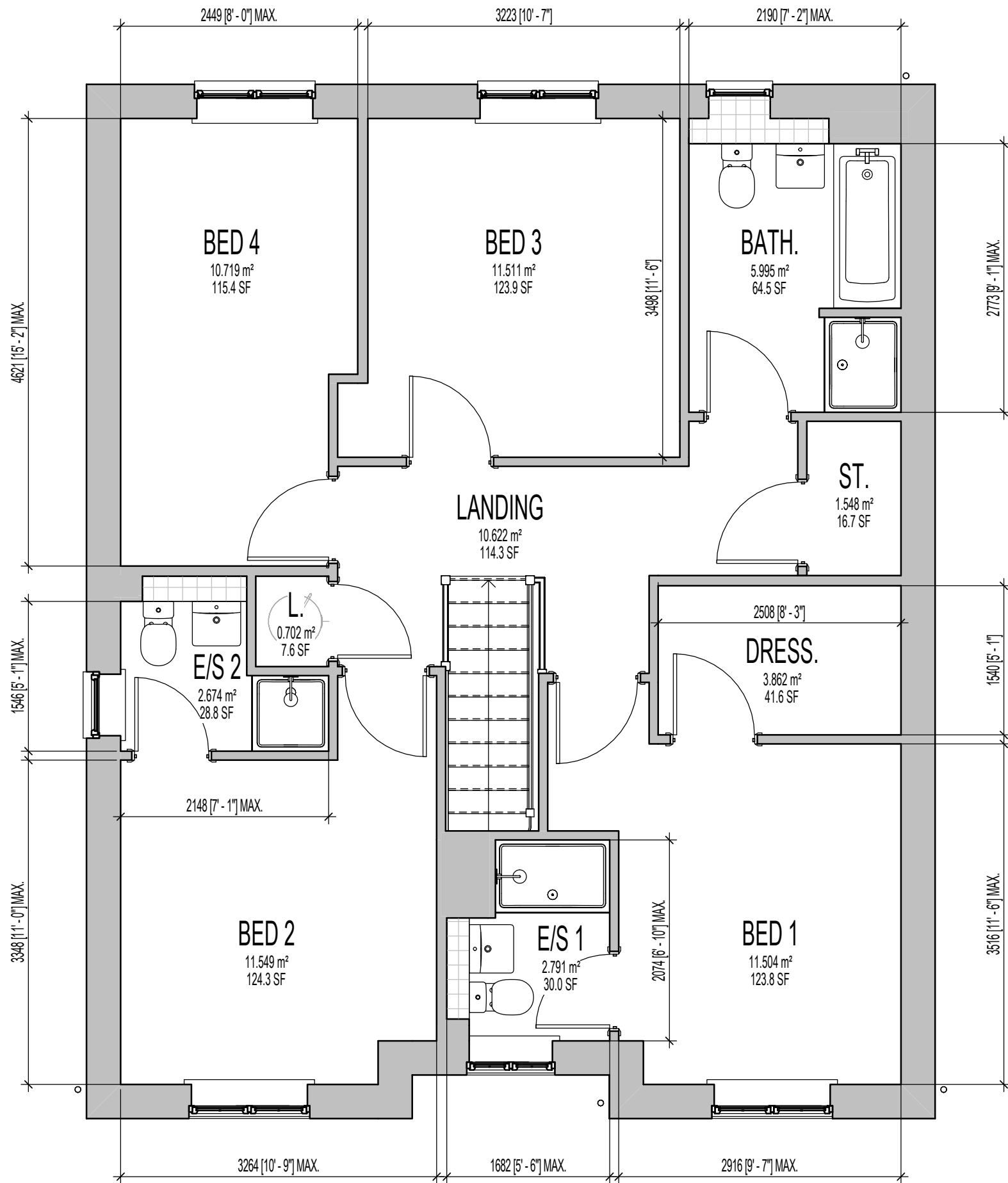
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Project Title
**LONDON ROAD, WOOLMER GREEN
L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO**

Drawing Title
G.F. SALES BROCHURE PLAN

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING



MILLER STANDARD ROOM SIZE SCHEDULE							
ROOM NAME	FLOOR	METRIC				IMPERIAL	
		WIDTH		DEPTH		WIDTH	DEPTH
LOUNGE	GROUND FLOOR	3207	MAX.	X 5198	MAX.	10' - 6"	X 17' - 1"
KITCHEN	GROUND FLOOR	3925		X 3505		12' - 11"	X 11' - 6"
FAMILY/ BREAKFAST	GROUND FLOOR	4135		X 4625		13' - 7"	X 15' - 2"
DINING	GROUND FLOOR	2660		X 2856		8' - 9"	X 9' - 4"
LAUNDRY	GROUND FLOOR	2595		X 1826		8' - 6"	X 6' - 0"
W.C.	GROUND FLOOR	1900		X 1450		6' - 3"	X 4' - 9"
BED 1	FIRST FLOOR	2916	MAX.	X 3516	MAX.	9' - 7"	X 11' - 6"
E/S 1	FIRST FLOOR	1682	MAX.	X 2074	MAX.	5' - 6"	X 6' - 10"
DRESS.	FIRST FLOOR	2508		X 1540		8' - 3"	X 5' - 1"
BED 2	FIRST FLOOR	3264	MAX.	X 3348	MAX.	10' - 9"	X 11' - 0"
E/S 2	FIRST FLOOR	2148	MAX.	X 1546	MAX.	7' - 1"	X 5' - 1"
BED 3	FIRST FLOOR	3223		X 3498		10' - 7"	X 11' - 6"
BED 4	FIRST FLOOR	2449	MAX.	X 4621	MAX.	8' - 0"	X 15' - 2"
BATH.	FIRST FLOOR	2190	MAX.	X 2773	MAX.	7' - 2"	X 9' - 1"

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

FIRST FLOOR PLAN

Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23

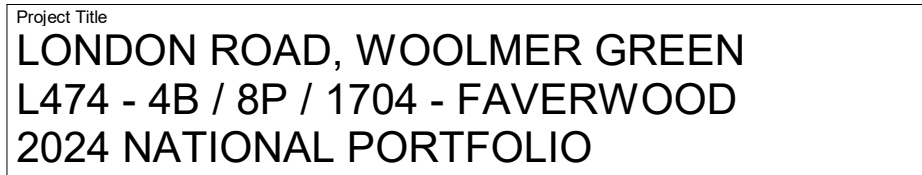
Drawing No.	Revision
L474902	



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Project Title
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L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
F.F. SALES BROCHURE PLAN



Drawing Title
ASHP G.F. SALES BROCHURE PLAN

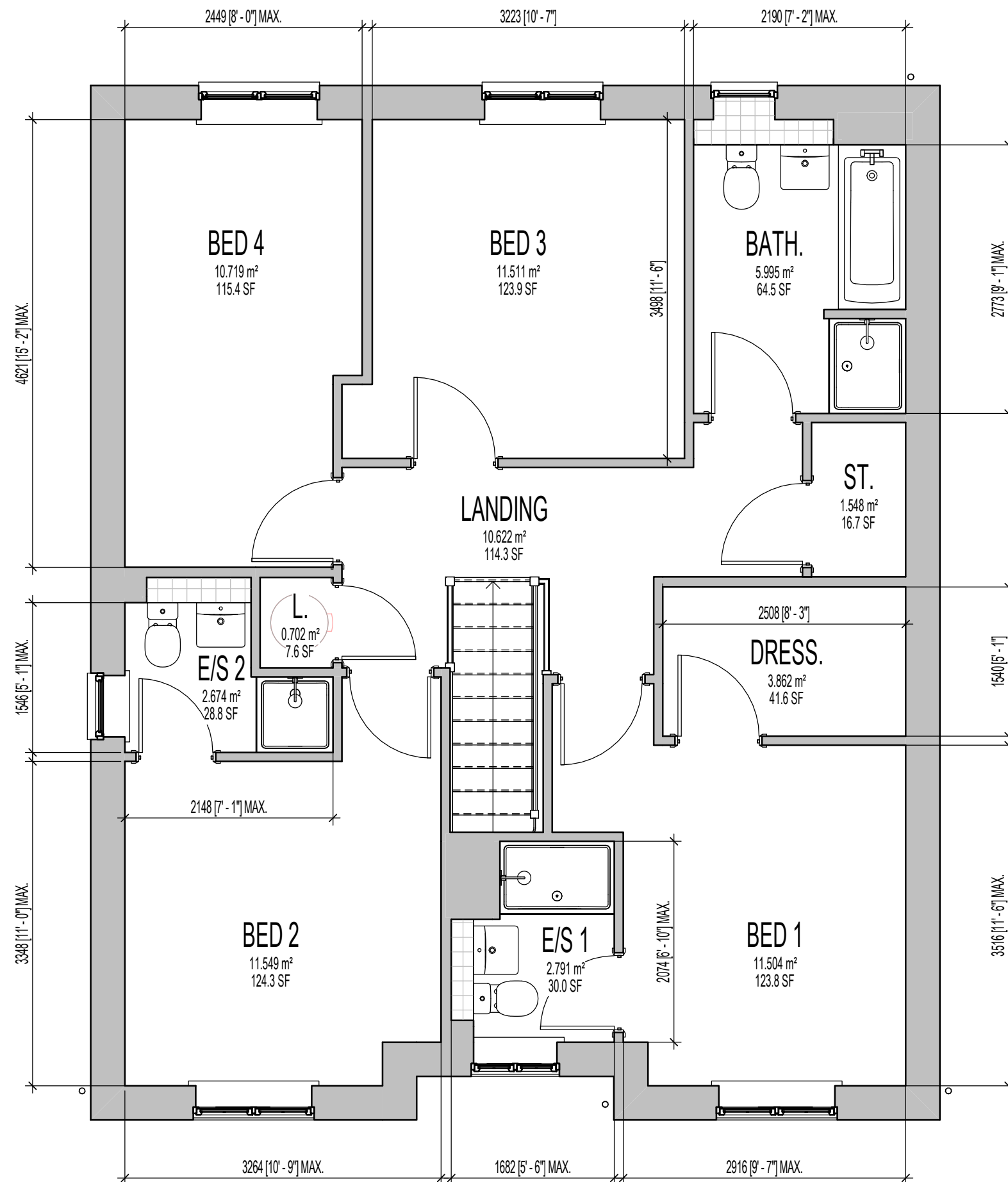
AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

Scale	Drawn By	Date
1 : 50	G.T.	14.03.25

Drawing No.	Revision
L474911	

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING



MILLER STANDARD ROOM SIZE SCHEDULE							
ROOM NAME	FLOOR	METRIC				IMPERIAL	
		WIDTH		DEPTH		WIDTH	DEPTH
LOUNGE	GROUND FLOOR	3207	MAX.	X 5198	MAX.	10' - 6"	X 17' - 1"
KITCHEN	GROUND FLOOR	3925		X 3505		12' - 11"	X 11' - 6"
FAMILY/ BREAKFAST	GROUND FLOOR	4135		X 4625		13' - 7"	X 15' - 2"
DINING	GROUND FLOOR	2660		X 2856		8' - 9"	X 9' - 4"
LAUNDRY	GROUND FLOOR	2595		X 1826		8' - 6"	X 6' - 0"
W.C.	GROUND FLOOR	1900		X 1450		6' - 3"	X 4' - 9"
BED 1	FIRST FLOOR	2916	MAX.	X 3516	MAX.	9' - 7"	X 11' - 6"
E/S 1	FIRST FLOOR	1682	MAX.	X 2074	MAX.	5' - 6"	X 6' - 10"
DRESS.	FIRST FLOOR	2508		X 1540		8' - 3"	X 5' - 1"
BED 2	FIRST FLOOR	3264	MAX.	X 3348	MAX.	10' - 9"	X 11' - 0"
E/S 2	FIRST FLOOR	2148	MAX.	X 1546	MAX.	7' - 1"	X 5' - 1"
BED 3	FIRST FLOOR	3223		X 3498		10' - 7"	X 11' - 6"
BED 4	FIRST FLOOR	2449	MAX.	X 4621	MAX.	8' - 0"	X 15' - 2"
BATH.	FIRST FLOOR	2190	MAX.	X 2773	MAX.	7' - 2"	X 9' - 1"

AS PLOTS - 4,44,59,63,73, OPP PLOTS - 45,74

Revision Note:

Scale	Drawn By	Date
1 : 50	G.T.	14.03.25
Drawing No.	Revision	
L474912		

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L474 - 4B / 8P / 1704 - FAVERWOOD
2024 NATIONAL PORTFOLIO

Drawing Title
ASHP F.F. SALES BROCHURE PLAN