

PRELIMINARY

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DESIGN DRAWINGS AND OTHER INFORMATION.

DESIGNER'S NOTE: THIS DRAWING IS A PRELIMINARY DESIGN. CONTRACTOR TO CHECK AGAINST THE BUILDING REGULATIONS AND THE BUILDING REGULATIONS 2010. COMMENTING: CLIENT TO CHECK ALL POSITIONS AGAINST THE BUILDING REGULATIONS AND THE BUILDING REGULATIONS 2010. DISCREPANCIES IMMEDIATELY FOR DIVERSIONS TO BE APPROVED.

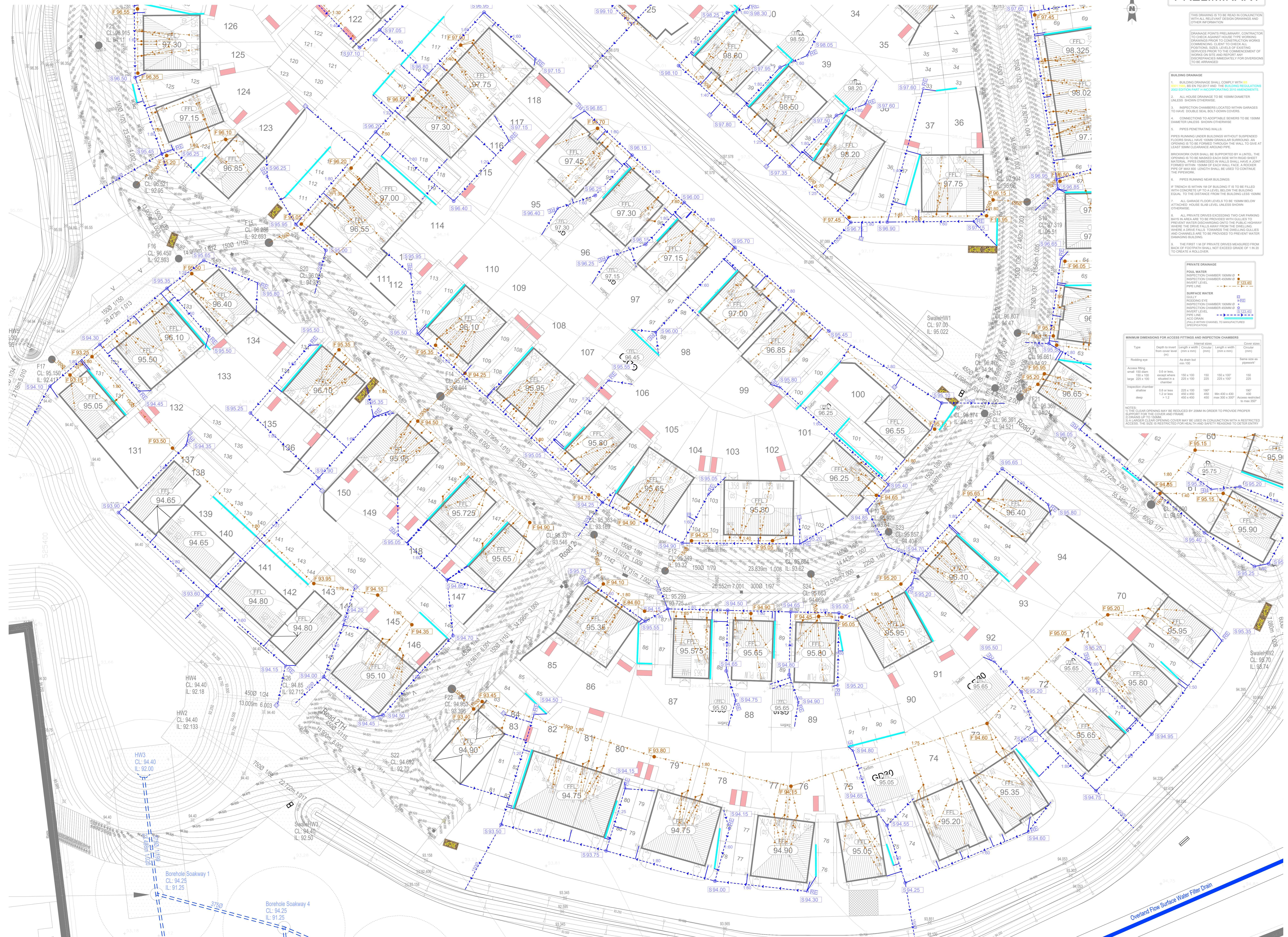
- ### BUILDING DRAINAGE
- BUILDING DRAINAGE SHALL COMPLY WITH BS 5592, BS EN 12052 AND THE BUILDING REGULATIONS 2010 INCORPORATING 2011 AMENDMENTS.
 - ALL HOUSE DRAINAGE TO BE 100MM DIAMETER UNLESS SHOWN OTHERWISE.
 - INSPECTION CHAMBERS LOCATED WITHIN GARAGES TO HAVE DOUBLE SEAL ROOF-DOWN COVERS.
 - CONNECTIONS TO ADAPTABLE EGRESS TO BE 150MM DIAMETER UNLESS SHOWN OTHERWISE.
 - PIPES PENETRATING WALLS.
 - PIPES RUNNING UNDER BUILDINGS WITHOUT SUSPENDED FLOORS SHALL HAVE 200MM GRANULAR SUBGRADE. AN OPENING IS TO BE FORMED THROUGH THE WALL TO GIVE AT LEAST 50MM CLEARANCE AROUND PIPES.
 - BRICKWORK OVER SHALL BE SUPPORTED BY A Lintel. THE Lintel IS TO BE MADE OF BRICKS OR CONCRETE. MATERIAL PIPES EMBEDDED IN WALLS SHALL HAVE A JOINT FORMED IN THE WALL. A JOINT SHALL BE MADE AT THE FACE OF THE WALL. A JOINT PIPE OF MAX 600 LENGTH SHALL BE USED TO CONTINUE THE PIPEWORK.
 - PIPES RUNNING NEAR BUILDINGS.
 - IF TRENCH IS WITHIN 1M OF BUILDING IT IS TO BE FILLED WITH CONCRETE UP TO A LEVEL BELOW THE BUILDING EQUAL TO THE DISTANCE FROM THE BUILDING LESS 100MM.
 - ALL GARAGE FLOOR LEVELS TO BE 150MM BELOW OTHER FLOOR LEVELS UNLESS SHOWN OTHERWISE.
 - ALL PRIVATE DRIVES EXCEEDING TWO CAR PARKING SPACES ARE TO BE GRASSED TO PREVENT WATER DISCHARGING ONTO THE PUBLIC HIGHWAY WHERE THE DRIVE FALLS AWAY FROM THE DWELLING. WHERE A DRIVE FALLS TOWARDS THE DWELLING GULLIES AND CHANNELS ARE TO BE PROVIDED TO PREVENT WATER DAMAGING BUILDING.
 - THE FIRST 1M OF PRIVATE DRIVES MEASURED FROM BACK OF FOOTPATH SHALL NOT EXCEED GRADE OF 1:20 TO CREATE A HOLD OVER.

- ### PRIVATE DRAINAGE
- #### FOUL WATER
- INSPECTION CHAMBER 100MM Ø
 - INSPECTION CHAMBER ROOM Ø
 - INVERT LEVEL
- #### SURFACE WATER
- ROOFING EYE
 - INSPECTION CHAMBER 100MM Ø
 - INSPECTION CHAMBER 400MM Ø
 - INVERT LEVEL
 - ACCIDENT
 - INVERT LEVEL

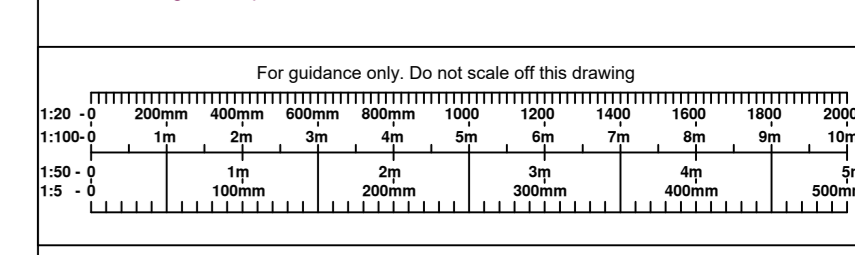
MINIMUM DIMENSIONS FOR ACCESS FITTINGS AND INSPECTION CHAMBERS

Type	Depth to invert (mm)	Length x width (mm)	Clearance (mm)	Clearance (mm)	Clearance (mm)
Roofing eye	100	100 x 100	100	100	100
Inspection chamber	Small 100mm	150 x 100	100	100	100
	Medium 150mm	225 x 100	225	225	225
	Large 225mm	300 x 100	300	300	300
Inspection chamber	Small 100mm	150 x 100	100	100	100
	Medium 150mm	225 x 100	225	225	225
	Large 225mm	300 x 100	300	300	300

NOTES:
1) THE CLEAR OPENING MAY BE REDUCED BY 20MM IN ORDER TO PROVIDE PROPER SUPPORT FOR THE COVER AND FRAME.
2) DRAWING OF 100MM Ø
3) A LARGER CLEAR OPENING COVER MAY BE USED IN CONJUNCTION WITH A RESTRICTED ACCESS. THE SIZE IS RESTRICTED FOR HEALTH AND SAFETY REASONS TO DETRIMENT.



Notes:
1. This drawing has been prepared in accordance with the scope of RPS's appointment with its client and is subject to the terms and conditions of that appointment. RPS accepts no liability for any use of the document other than by the client and only for the purposes for which it was prepared and provided.
2. If received electronically it is the recipient's responsibility to print to correct scale. Only written dimensions should be used.
3. This drawing should be read in conjunction with all other relevant drawings and specifications.



- ### REVISIONS
- | Rev | Description | By | Chd | Date |
|-----|--|----|-----|----------|
| P05 | General updates made following comments from client | KK | | 04.02.24 |
| P04 | Latest layout shown - Rd 3 horizontal alignment amended | KK | | 16.01.24 |
| P03 | Private drainage updated to suit latest layout & client comments | KK | | 06.11.23 |
| P02 | Private drainage updated to suit revised FFL's to plots | KK | | 03.09.23 |
| P01 | First Issue | KK | | 12.08.23 |

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Client: **Miller Homes**

Project: **London Road, Woolmer Green**

Title: **Private Drainage Sheet 2**

RPS Project Number: 31468-RPS-xxx-DR-C-200-02
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Information: KKelsall
Task Information: Manager

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