

WINDOW KEY.



DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.

EXE

DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST 450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS.

RAINWATER GOODS - GENERAL NOTES

ALL RWP LOCATIONS DENOTED ARE DESIGNED IN ACCORDANCE WITH POLYPIPE'S RAINWATER DISCHARGE CALCULATIONS.

FIGURES BASED ON POLYFLOW RAINWATER SYSTEM (i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND RAINFALL DESIGN INTENSITY OF 75MM/HOUR

INDICATIVE PHOTOVOLTAIC (P.V.) ARRAY POSITION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING. REFER TO SITE/PLOT SPECIFIC PV DESIGNS FOR EXACT REQUIREMENTS.

DRY VERGE.

SVP TILE VENTS TO BE POSITIONED A MINIMUM OF 900MM ABOVE OPENABLE WINDOWS.

OBSCURE GLAZING TO EN SUITE WINDOW.

OPTIONAL CODE 4 LEAD FLASHING TO ENTRANCE CANOPY.

GRP ENTRANCE CANOPY. STORMKING REF: TBC.

SPLAYED BRICK HEADS WHERE SHOWN

G.R.P. DECORATIVE GALLOWS BRACKET. STORMKING REF: 7680-31 (650x650mm)

DRY RIDGE.

POSITION OF EN SUITE WALL MOUNTED EXTRACT FAN.

P.V.C.U. FASCIA AND SOFFIT BOARDS.

ENTRANCE DOOR TO BE IG DOOR STYLE REF: TBC.



FRONT ELEVATION



D1

PLOT HANDINGS.

OPP: PLOT 647

EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P. SCHEDULE & SPECIALIST'S DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L361 - 3B / 5P / 996 - BRAXTON
2021 UPLIFT SPECIFICATION

Drawing Title
FRONT ELEVATION
NEIGHBOURHOOD OPTION

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L361N401

Revision

C1

mill

erhomes

Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

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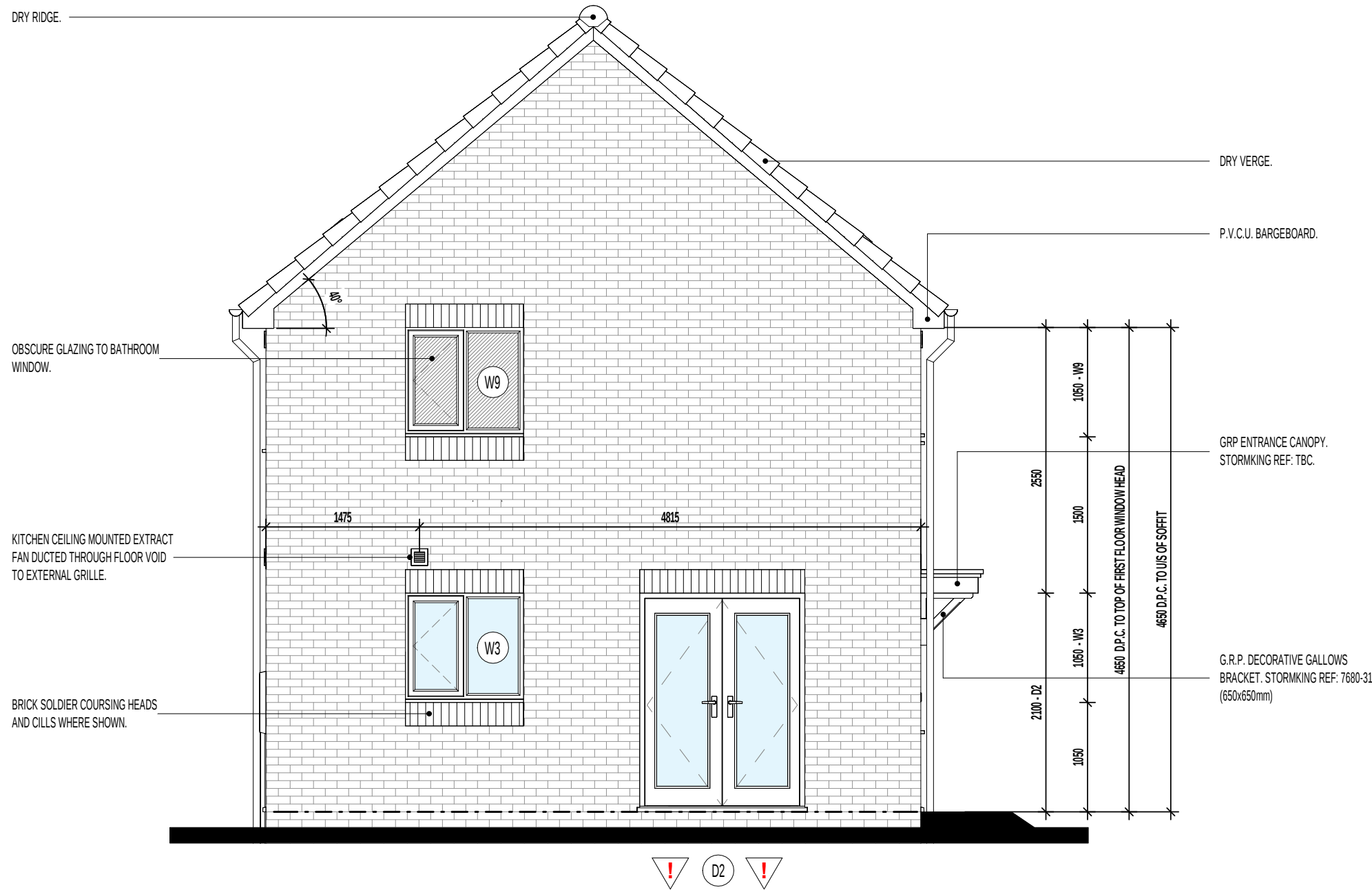
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L.H. SIDE ELEVATION

PLOT HANDINGS.

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Revision

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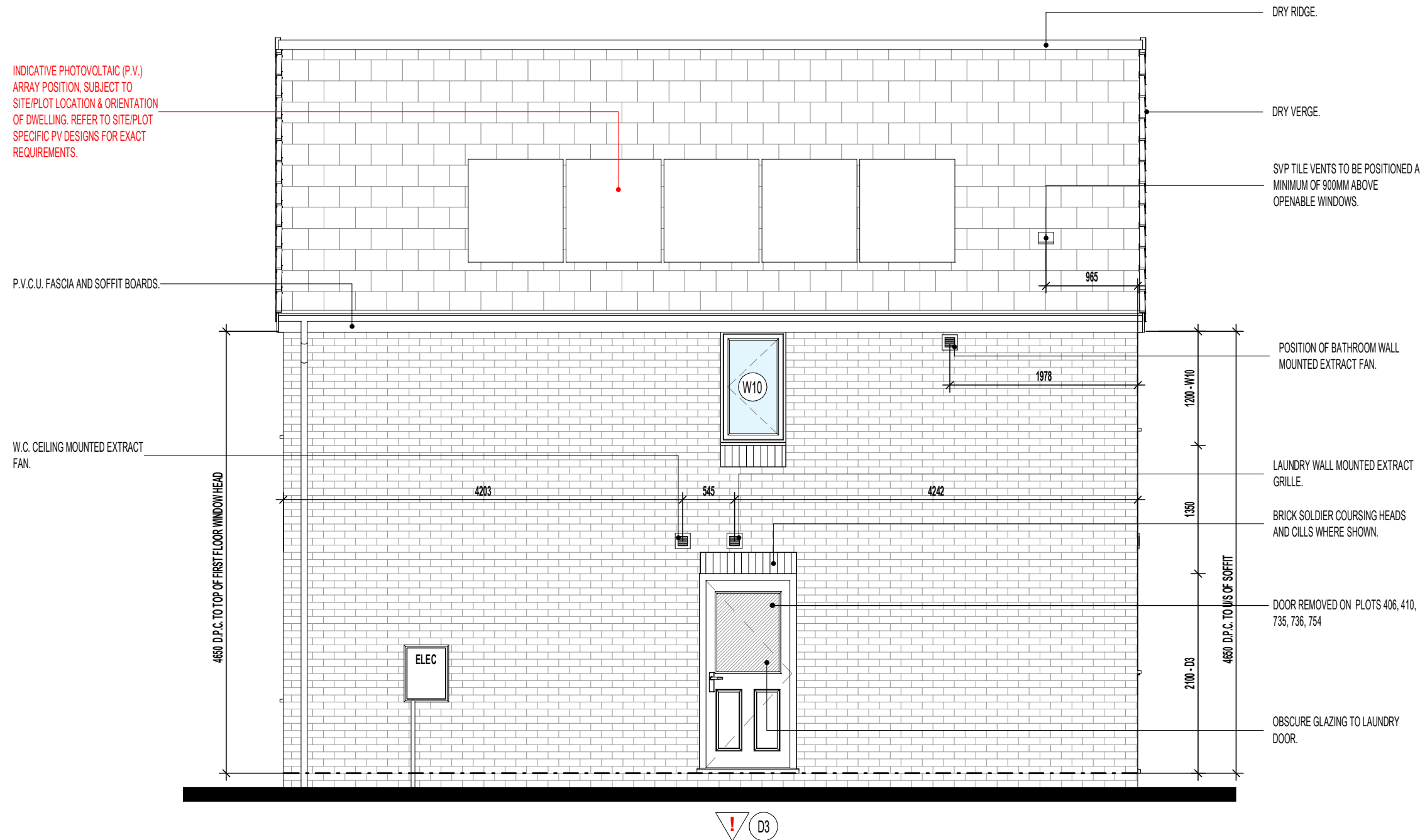
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Drawing No.

L361N403

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R.H. SIDE ELEVATION

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Revision Note:

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DRY RIDGE.

POSITION OF EN SUITE WALL MOUNTED EXTRACT FAN.

P.V.C.U. FASCIA AND SOFFIT BOARDS.

CEMENT FIBRE WEATHERBOARD WOOD EFFECT- LAID HORIZONTALLY ON 38X38MM BATTENS, ON VAPOUR CONTROL LAYER ON BLOCKWORK. REFER TO SEPARATE DETAIL.

ENTRANCE DOOR TO BE IG DOOR STYLE REF: TBC.

INDICATIVE PHOTOVOLTAIC (P.V.) ARRAY POSITION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING. REFER TO SITE/PLOT SPECIFIC PV DESIGNS FOR EXACT REQUIREMENTS.

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G.R.P. DECORATIVE GALLOWS BRACKET. STORMKING REF: 7680-31 (650x650mm)

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L361 - 3B / 5P / 996 - BRAXTON
2021 UPLIFT SPECIFICATION

Drawing Title
FRONT ELEVATION
NEIGHBOURHOOD OPTION - BOARD

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L361N405

Revision

C1

PLOT HANDINGS.

AS: PLOTS 621 & 745
OPP: PLOTS 407, 736 & 752

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www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

WINDOW KEY.

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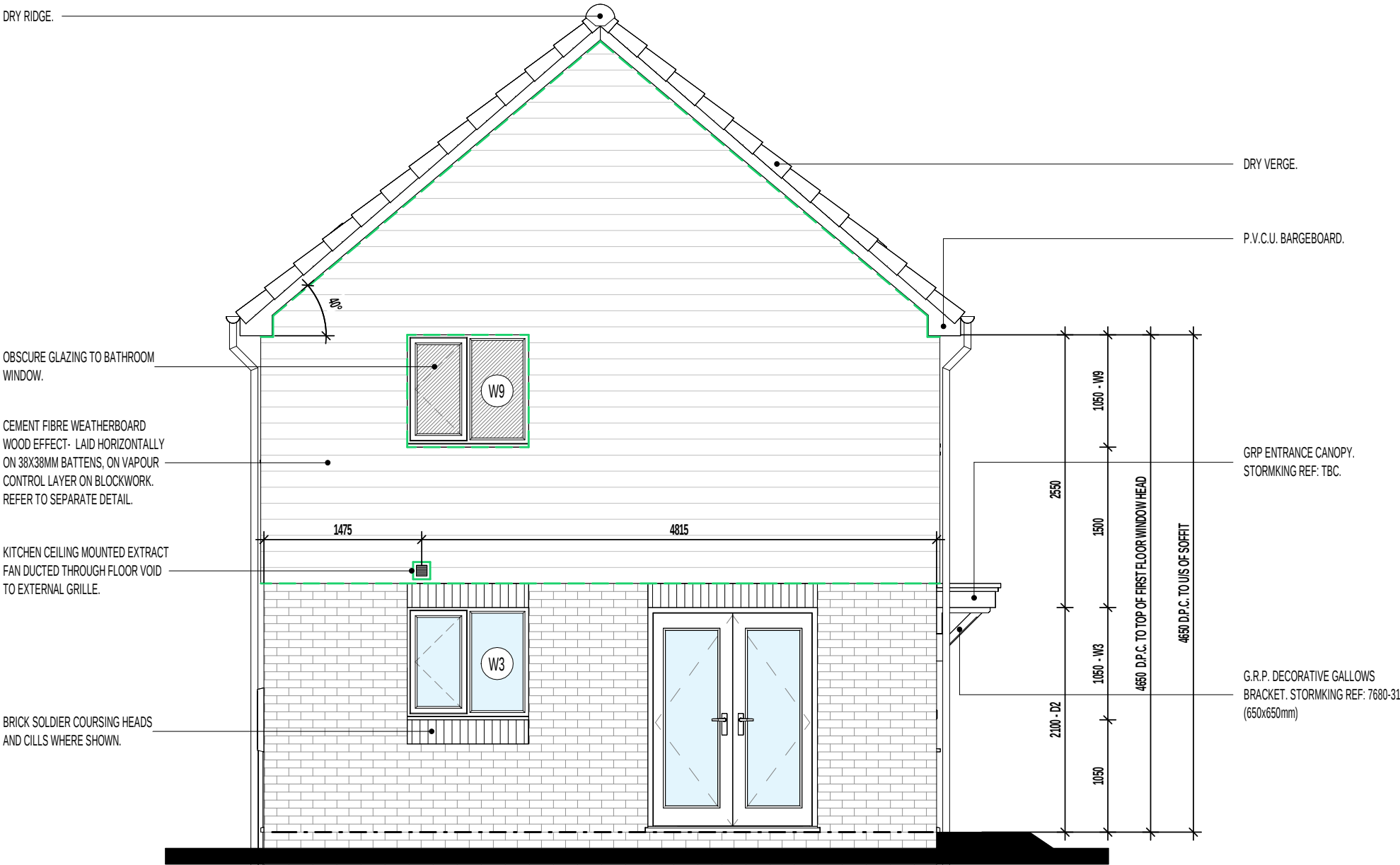
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TENMAT FF 102/50 CAVITY BARRIER OR SIMILAR APPROVED BY NHBC.

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FIGURES BASED ON **POLYFLOW RAINWATER SYSTEM** (i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND RAINFALL DESIGN INTENSITY OF 75MM/HOUR



L.H. SIDE ELEVATION

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AS: PLOTS 621 & 745
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L361 - 3B / 5P / 996 - BRAXTON
2021 UPLIFT SPECIFICATION**

Drawing Title
**L.H. SIDE ELEVATION
NEIGHBOURHOOD OPTION - BOARD**

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L361N406

Revision

C1

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
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Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

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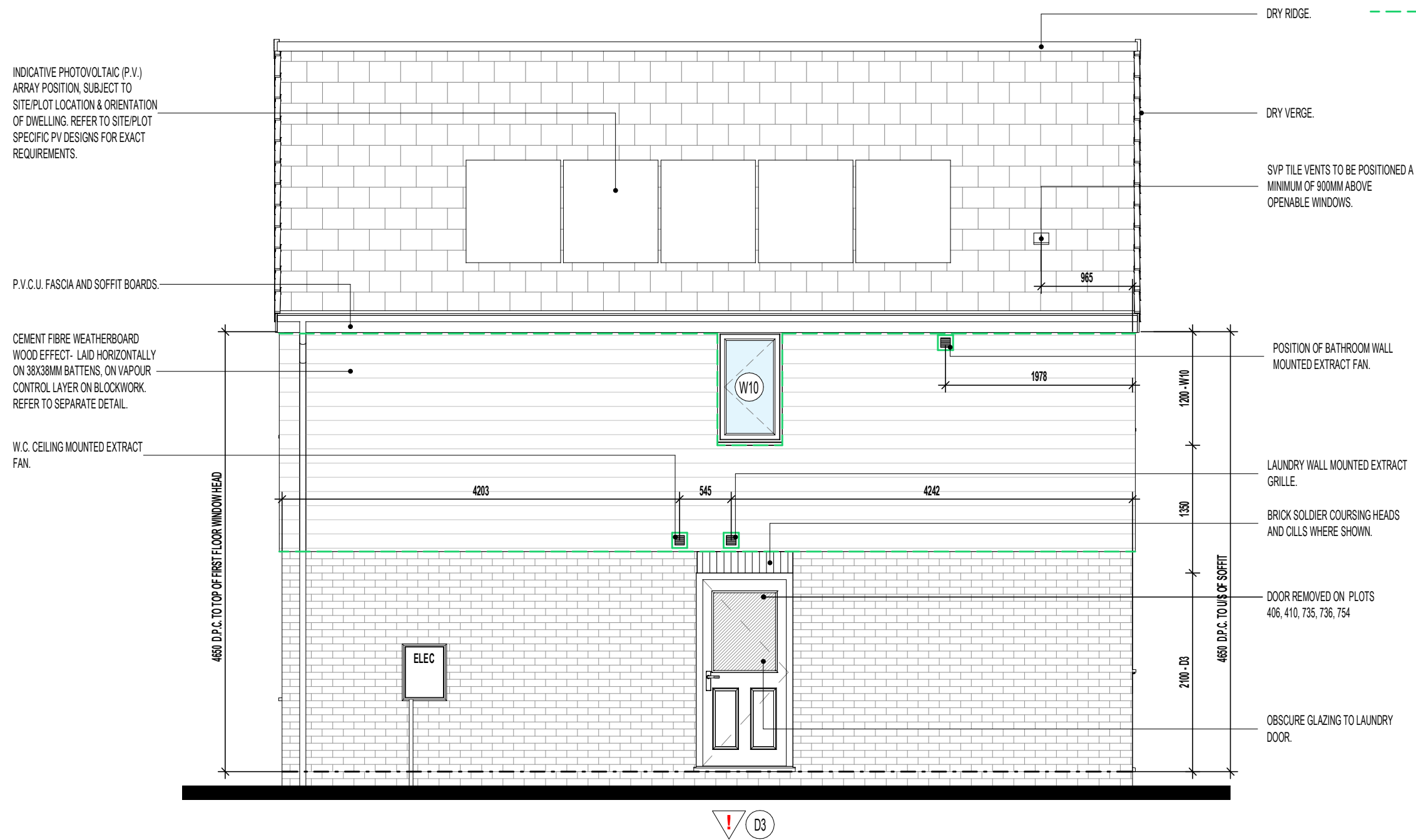
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L361 - 3B / 5P / 996 - BRAXTON
2021 UPLIFT SPECIFICATION**

Drawing Title
**REAR ELEVATION
NEIGHBOURHOOD OPTION - BOARD**

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L361N407

Revision

C1

millerhomes
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2 Centro Place, Pride Park
Derby, DE24 8RF
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www.millerhomes.co.uk

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WINDOW KEY.

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LAND WEST OF NORTH ROAD, STEVENAGE
L361 - 3B / 5P / 996 - BRAXTON
2021 UPLIFT SPECIFICATION

Drawing Title
R.H. SIDE ELEVATION
NEIGHBOURHOOD OPTION - BOARD

Revision Note:		
CONSTRUCTION ISSUE		

Scale	Drawn By	Date
1 : 50	M.T.	07.03.24
Drawing No.	Revision	
L361N408	C1	



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2021 UPLIFT SPECIFICATION

Drawing Title
FRONT ELEVATION
NEIGHBOURHOOD EDGE OPTION

Revision Note:

CONSTRUCTION ISSUE

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Drawn By

M.T.

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L361NE401

Revision

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millershomes

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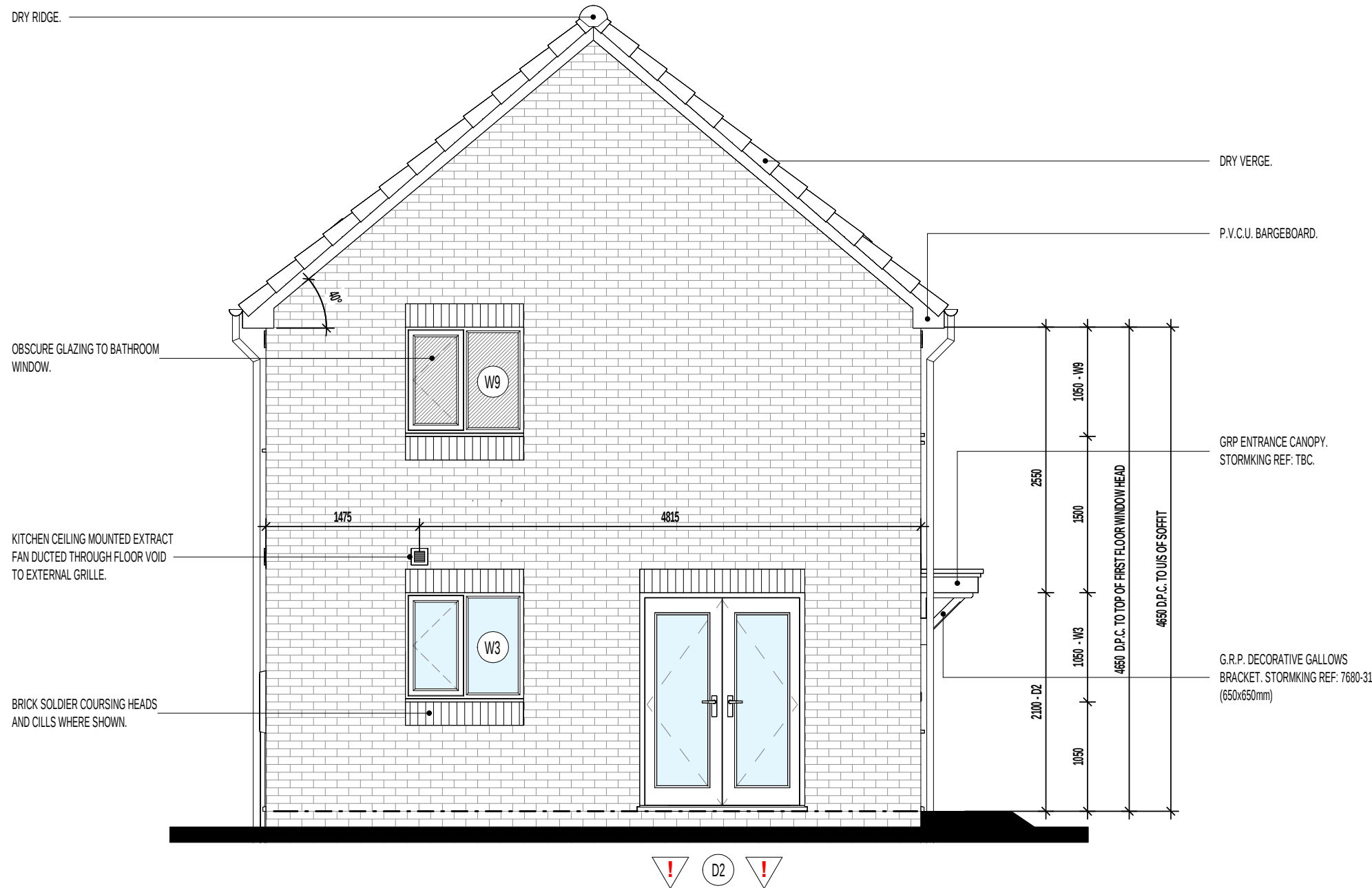
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Drawing No.

L361NE402

Revision

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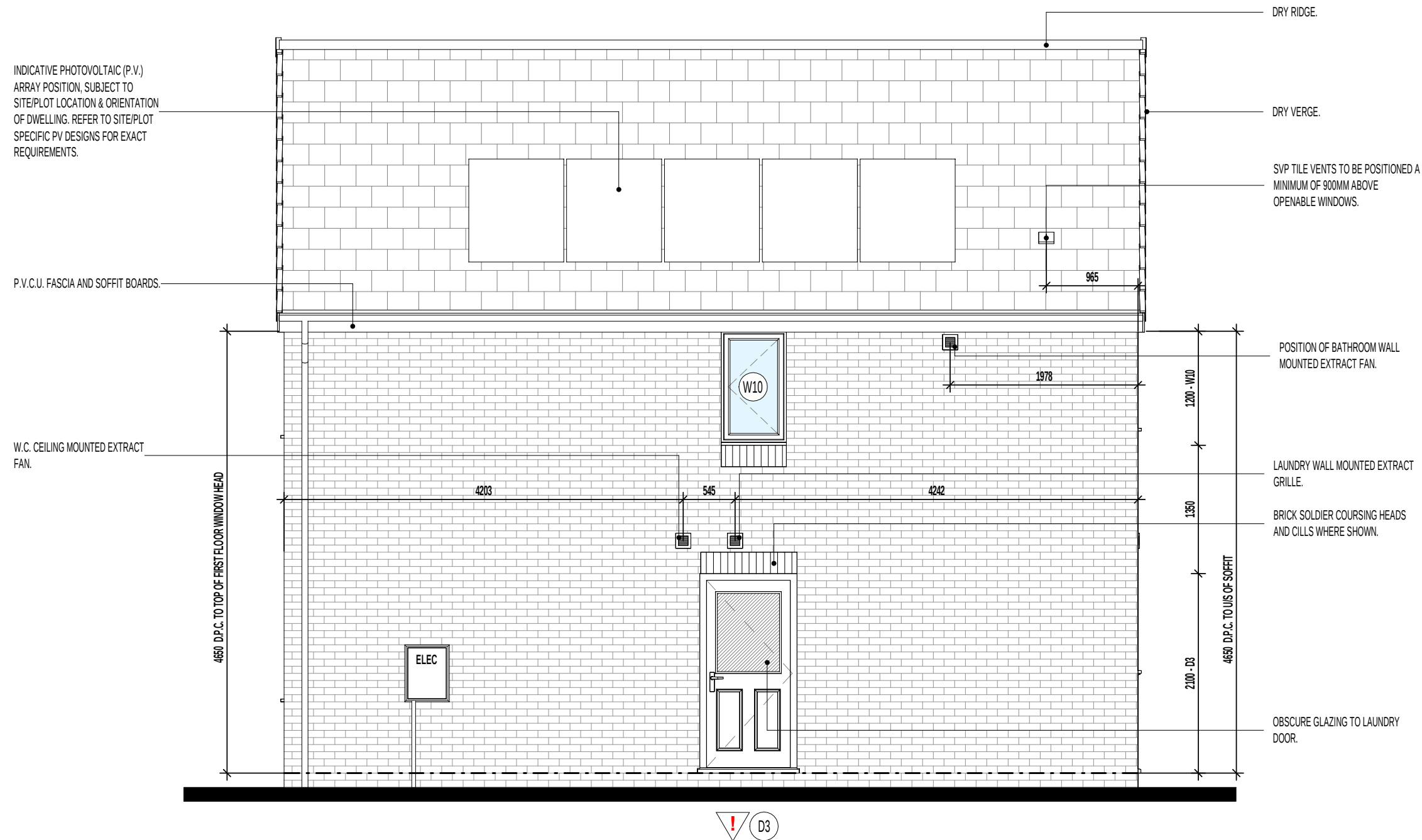
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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

WINDOW KEY.



DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.

EXE

DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST 450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS.



TENMAT FF 102/50 CAVITY BARRIER OR SIMILAR APPROVED BY NHBC.

RAINWATER GOODS - GENERAL NOTES

ALL RWP LOCATIONS DENOTED ARE DESIGNED IN ACCORDANCE WITH POLYPIPE'S RAINWATER DISCHARGE CALCULATIONS.

FIGURES BASED ON POLYFLOW RAINWATER SYSTEM (i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND RAINFALL DESIGN INTENSITY OF 75MM/HOUR

DRY RIDGE.

POSITION OF EN SUITE WALL MOUNTED EXTRACT FAN.

P.V.C.U. FASCIA AND SOFFIT BOARDS.

CEMENT FIBRE WEATHERBOARD WOOD EFFECT- LAID HORIZONTALLY ON 38X38MM BATTENS, ON VAPOUR CONTROL LAYER ON BLOCKWORK. REFER TO SEPARATE DETAIL.

ENTRANCE DOOR TO BE IG DOOR STYLE REF: TBC.

INDICATIVE PHOTOVOLTAIC (P.V.) ARRAY POSITION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING. REFER TO SITE/PLOT SPECIFIC PV DESIGNS FOR EXACT REQUIREMENTS.

DRY VERGE.

SVP TILE VENTS TO BE POSITIONED A MINIMUM OF 900MM ABOVE OPENABLE WINDOWS.

OBSCURE GLAZING TO EN SUITE WINDOW.

OPTIONAL CODE 4 LEAD FLASHING TO ENTRANCE CANOPY.

GRP ENTRANCE CANOPY. STORMKING REF: TBC.

SPLAYED BRICK HEADS WHERE SHOWN

G.R.P. DECORATIVE GALLOWS BRACKET. STORMKING REF: 7680-31 (650x650mm)

FRONT ELEVATION



EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P. SCHEDULE & SPECIALIST'S DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L361 - 3B / 5P / 996 - BRAXTON
2021 UPLIFT SPECIFICATION

Drawing Title
FRONT ELEVATION
NEIGHBOURHOOD EDGE OPTION - BOARD

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L361NE405

Revision

C1

PLOT HANDINGS.

AS: PLOTS 410, 673, 731 & 759
OPP: PLOTS 406, 417 & 683

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www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

WINDOW KEY.

- !

DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.
- EXE

DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST 450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS.
- - -

TENMAT FF 102/50 CAVITY BARRIER OR SIMILAR APPROVED BY NHBC.

RAINWATER GOODS - GENERAL NOTES
ALL RWP LOCATIONS DENOTED ARE DESIGNED IN ACCORDANCE WITH POLYPIPE'S RAINWATER DISCHARGE CALCULATIONS.

FIGURES BASED ON **POLYFLOW RAINWATER SYSTEM** (i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND RAINFALL DESIGN INTENSITY OF 75MM/HOUR



L.H. SIDE ELEVATION

PLOT HANDINGS.

AS: PLOTS 410, 673, 731 & 759
OPP: PLOTS 406, 417 & 683

EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P. SCHEDULE & SPECIALIST'S DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L361 - 3B / 5P / 996 - BRAXTON
2021 UPLIFT SPECIFICATION

Drawing Title
L.H. SIDE ELEVATION
NEIGHBOURHOOD EDGE OPTION - BOARD

Revision Note:
CONSTRUCTION ISSUE

Scale	Drawn By	Date
1 : 50	M.T.	07.03.24
Drawing No.		Revision
L361NE406		C1

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WINDOW KEY.

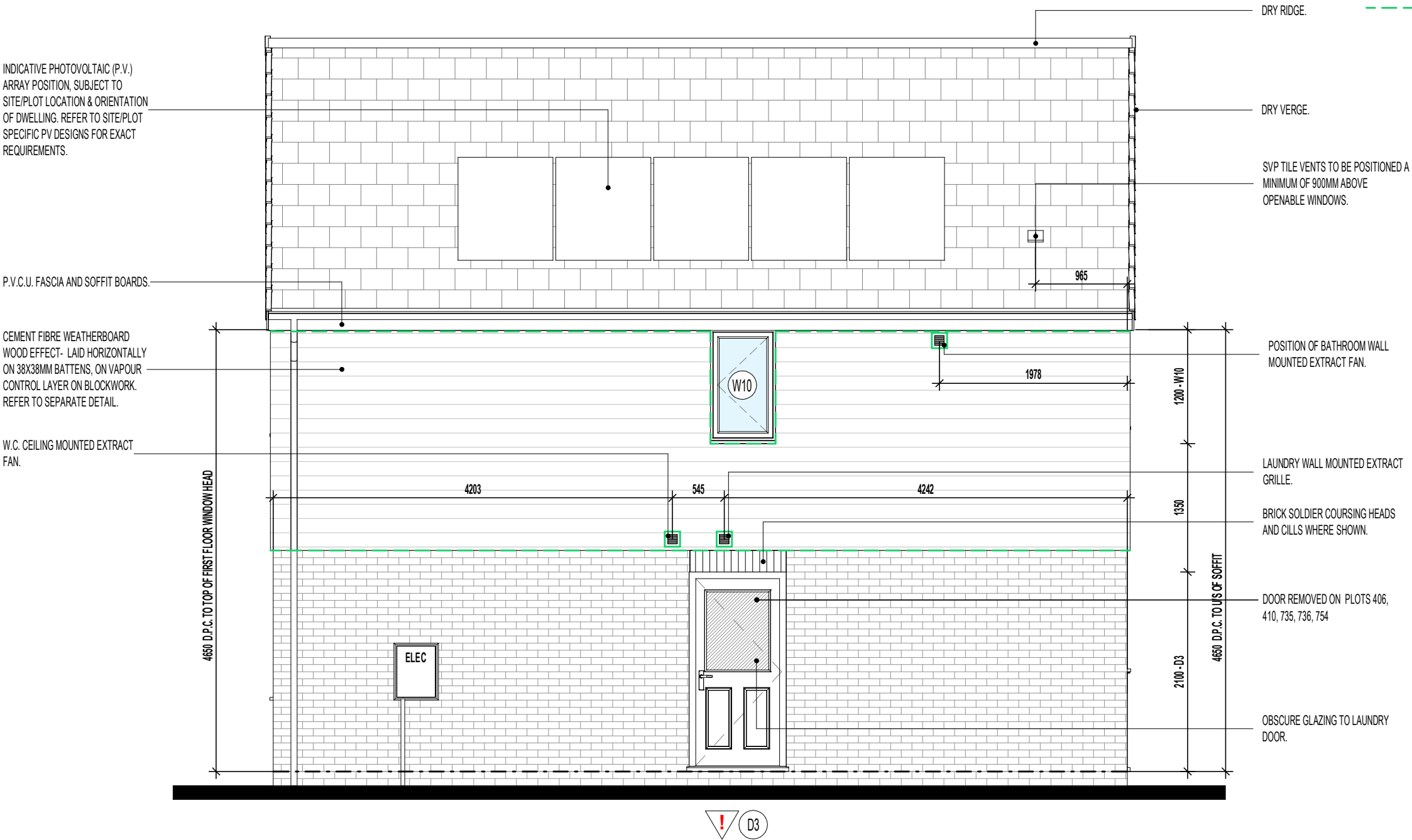
 DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.

EXE DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST 450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS.

 TENMAT FF 102/50 CAVITY BARRIER OR SIMILAR APPROVED BY NHBC.

RAINWATER GOODS - GENERAL NOTES
ALL RWP LOCATIONS DENOTED ARE DESIGNED IN ACCORDANCE WITH POLYPIPE'S RAINWATER DISCHARGE CALCULATIONS.

FIGURES BASED ON **POLYFLOW RAINWATER SYSTEM** (i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND RAINFALL DESIGN INTENSITY OF 75MM/HOUR



REAR ELEVATION

PLOT HANDINGS.

AS: PLOTS 410, 673, 731 & 759
OPP: PLOTS 406, 417 & 683

EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P. SCHEDULE & SPECIALIST'S DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L361 - 3B / 5P / 996 - BRAXTON
2021 UPLIFT SPECIFICATION

Drawing Title
REAR ELEVATION
NEIGHBOURHOOD EDGE OPTION - BOARD

Revision Note:		
CONSTRUCTION ISSUE		

Scale	Drawn By	Date
1 : 50	M.T.	07.03.24
Drawing No.	Revision	
L361NE407	C1	

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WINDOW KEY.

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EXE DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST 450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS.

 TENMAT FF 102/50 CAVITY BARRIER OR SIMILAR APPROVED BY NHBC.

RAINWATER GOODS - GENERAL NOTES

ALL RWP LOCATIONS DENOTED ARE DESIGNED IN ACCORDANCE WITH POLYPIPE'S RAINWATER DISCHARGE CALCULATIONS.

FIGURES BASED ON **POLYFLOW RAINWATER SYSTEM** (i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND RAINFALL DESIGN INTENSITY OF 75MM/HOUR



R.H. SIDE ELEVATION

PLOT HANDINGS.

AS: PLOTS 410, 673, 731 & 759
OPP: PLOTS 406, 417 & 683

EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P. SCHEDULE & SPECIALIST'S DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L361 - 3B / 5P / 996 - BRAXTON
2021 UPLIFT SPECIFICATION**

Drawing Title
**R.H. SIDE ELEVATION
NEIGHBOURHOOD EDGE OPTION - BOARD**

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L361NE408

Revision

C1

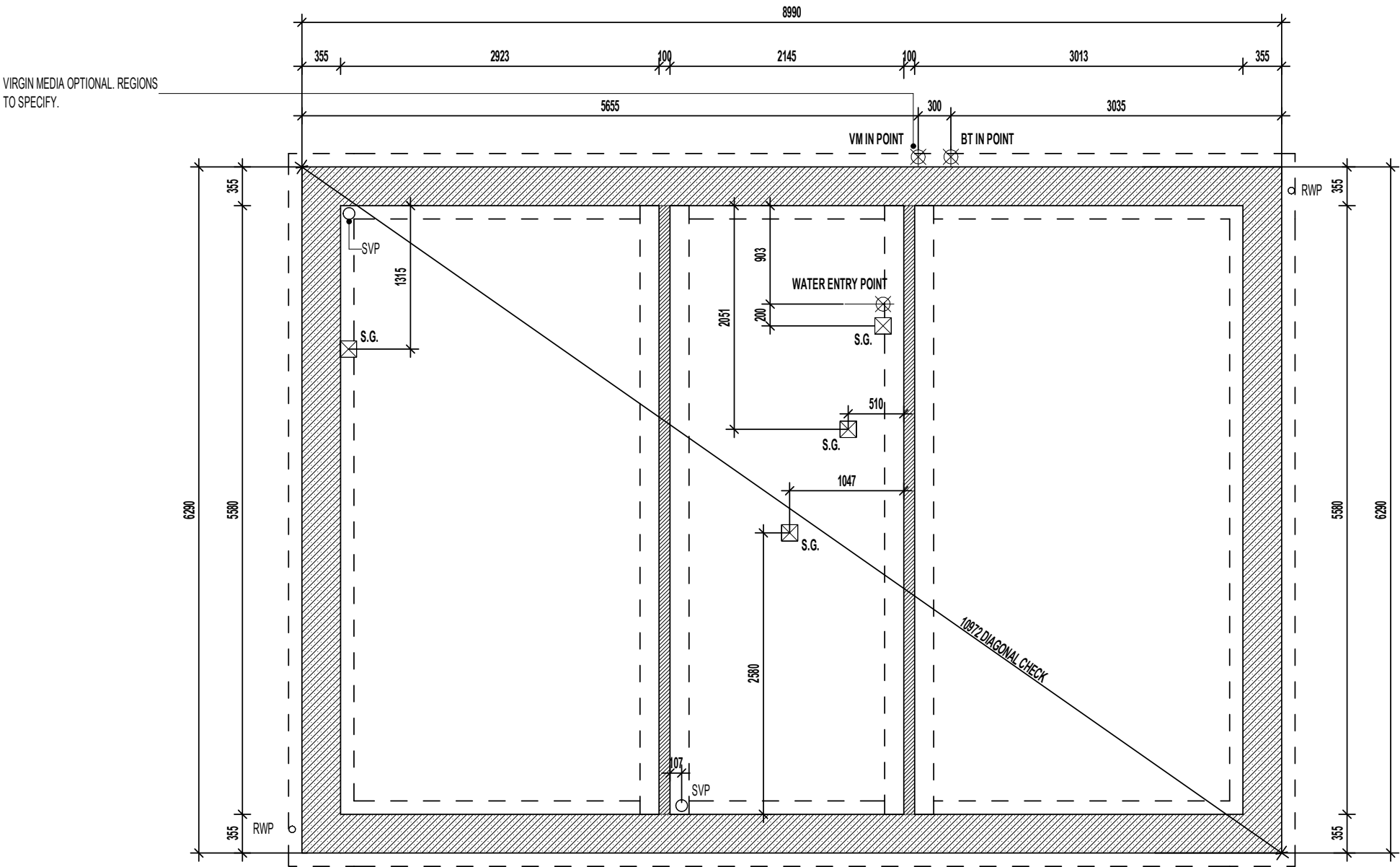
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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

WALL LEGEND.

-  DENOTES 355MM THICK 3.6N/MM² FOUNDATION BLOCKWORK
-  DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.



TRENCH BLOCK FOUNDATION PLAN

Revision Note:

CONSTRUCTION ISSUE

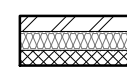
Project Title
L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP TRENCH BLOCK FOUNDATION PLAN

Scale	Drawn By	Date
1 : 50	G.T.	26.01.24
Drawing No.	Revision	
L361105	C1	

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WALL LEGEND.

- 

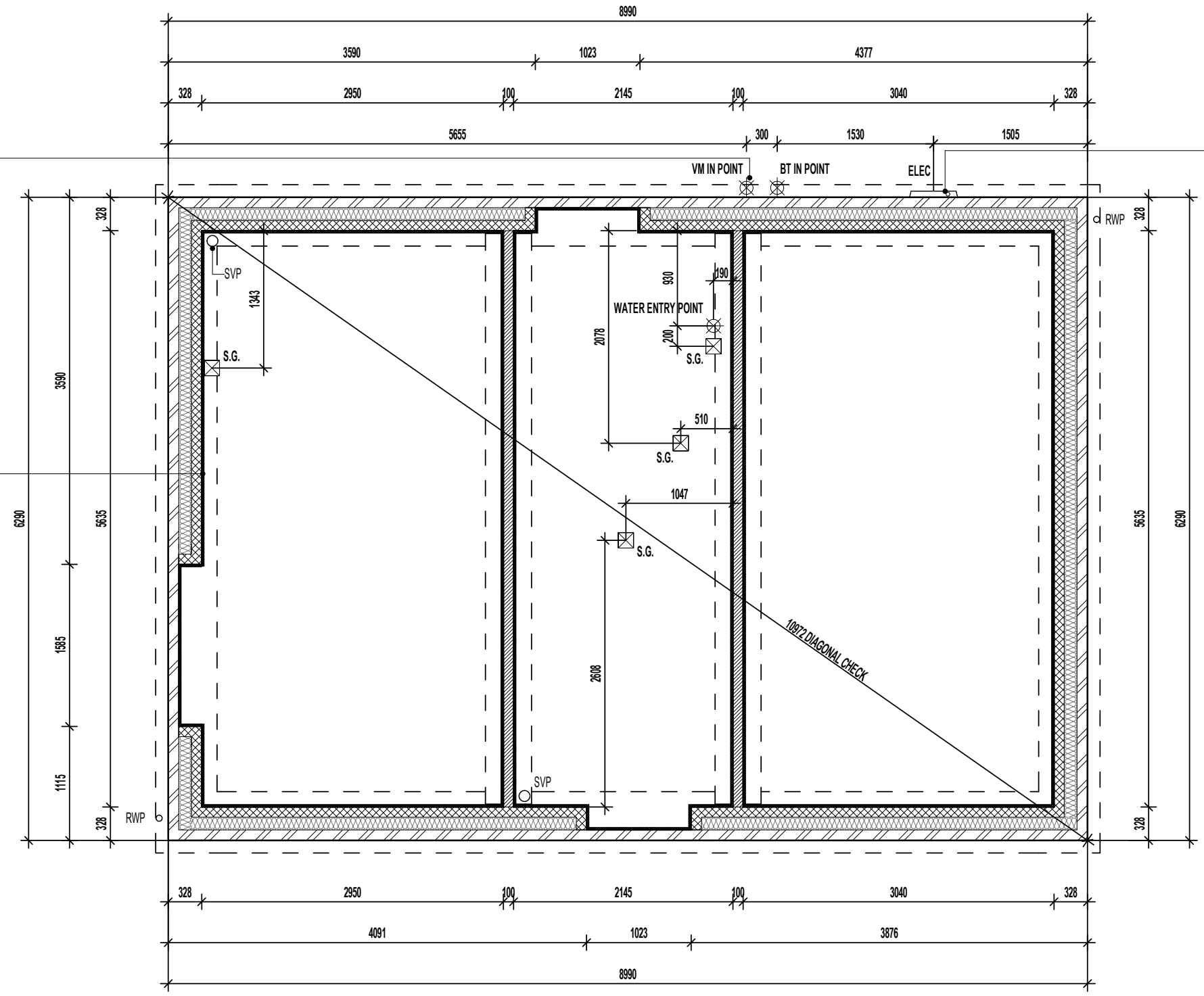
DENOTES 328MM THICK CAVITY WALL BELOW DPC :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
- 

DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:
REFER TO DIMENSIONED G.F. PLANS FOR EXTERNAL & INTERNAL DOOR
LOCATIONS AND CROSS REFER TO ASSOCIATED STANDARD DETAILS FOR
DOOR THRESHOLD TREATMENT.

LOCATION OF METER BOXES.
CONTACT SERVICE PROVIDER FOR
CONFIRMATION OF METER
POSITIONS.



GROUND BEARING FOUNDATION PLAN

Project Title
L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP GROUND BEARING FOUNDATION PLAN

Revision Note:
CONSTRUCTION ISSUE

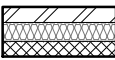
Scale	Drawn By	Date
1 : 50	G.T.	26.01.24
Drawing No.	Revision	
L361106	C1	

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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

WALL LEGEND.

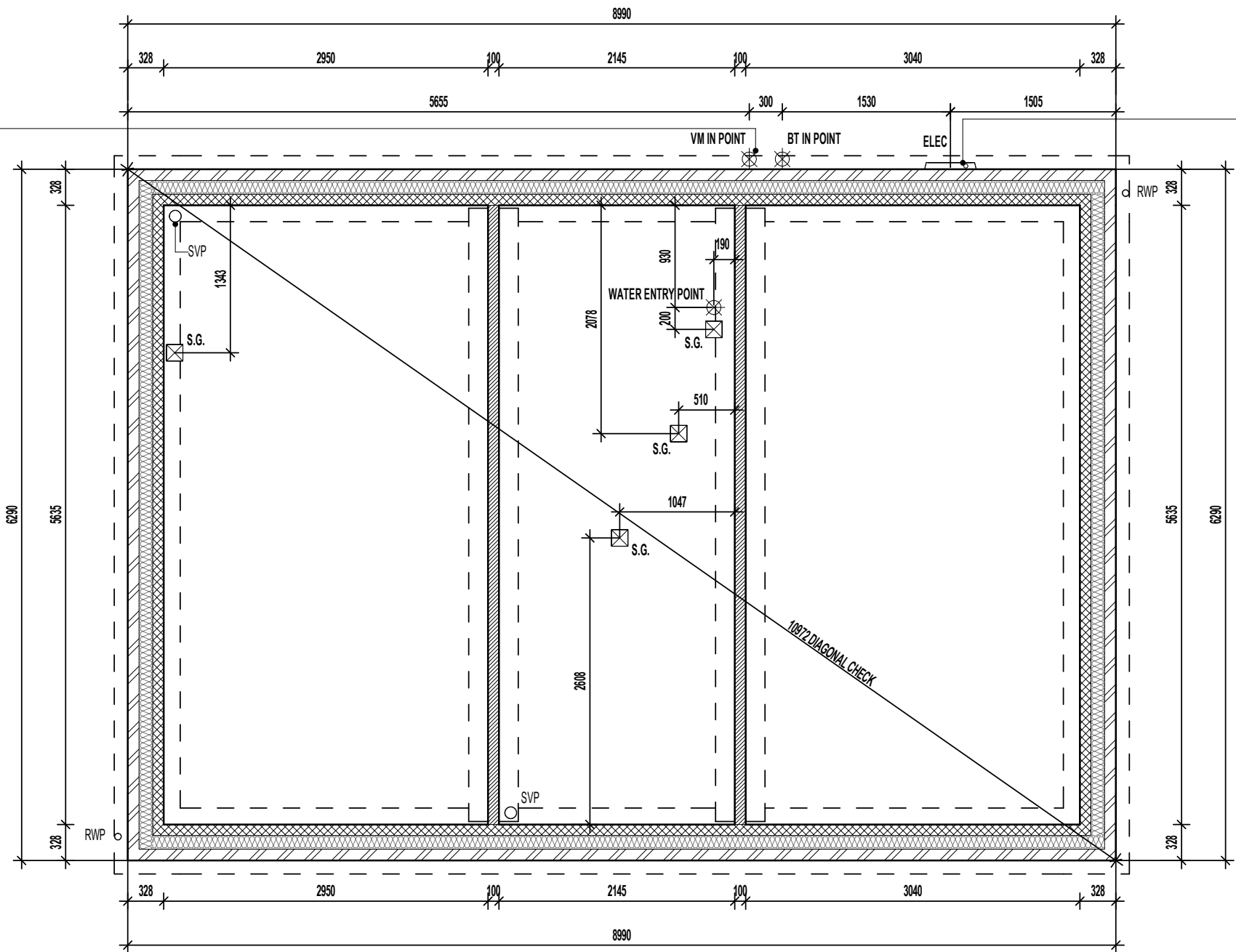
-  DENOTES 328MM THICK CAVITY WALL BELOW DPC :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
-  DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:
REFER TO DIMENSIONED G.F. PLANS FOR EXTERNAL & INTERNAL DOOR
LOCATIONS AND CROSS REFER TO ASSOCIATED STANDARD DETAILS FOR
DOOR THRESHOLD TREATMENT.

LOCATION OF METER BOXES.
CONTACT SERVICE PROVIDER FOR
CONFIRMATION OF METER
POSITIONS.

VIRGIN MEDIA OPTIONAL. REGIONS
TO SPECIFY.



SUSPENDED SLAB FOUNDATION PLAN

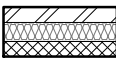
Project Title
L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP SUSPENDED SLAB FOUNDATION PLAN

Scale	Drawn By	Date
1 : 50	G.T.	26.01.24
Drawing No.	Revision	
L361107	C1	

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WALL LEGEND.

-  DENOTES 328MM THICK CAVITY WALL BELOW DPC :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
-  DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:
REFER TO DIMENSIONED G.F. PLANS FOR EXTERNAL & INTERNAL DOOR LOCATIONS AND CROSS REFER TO ASSOCIATED STANDARD DETAILS FOR DOOR THRESHOLD TREATMENT.

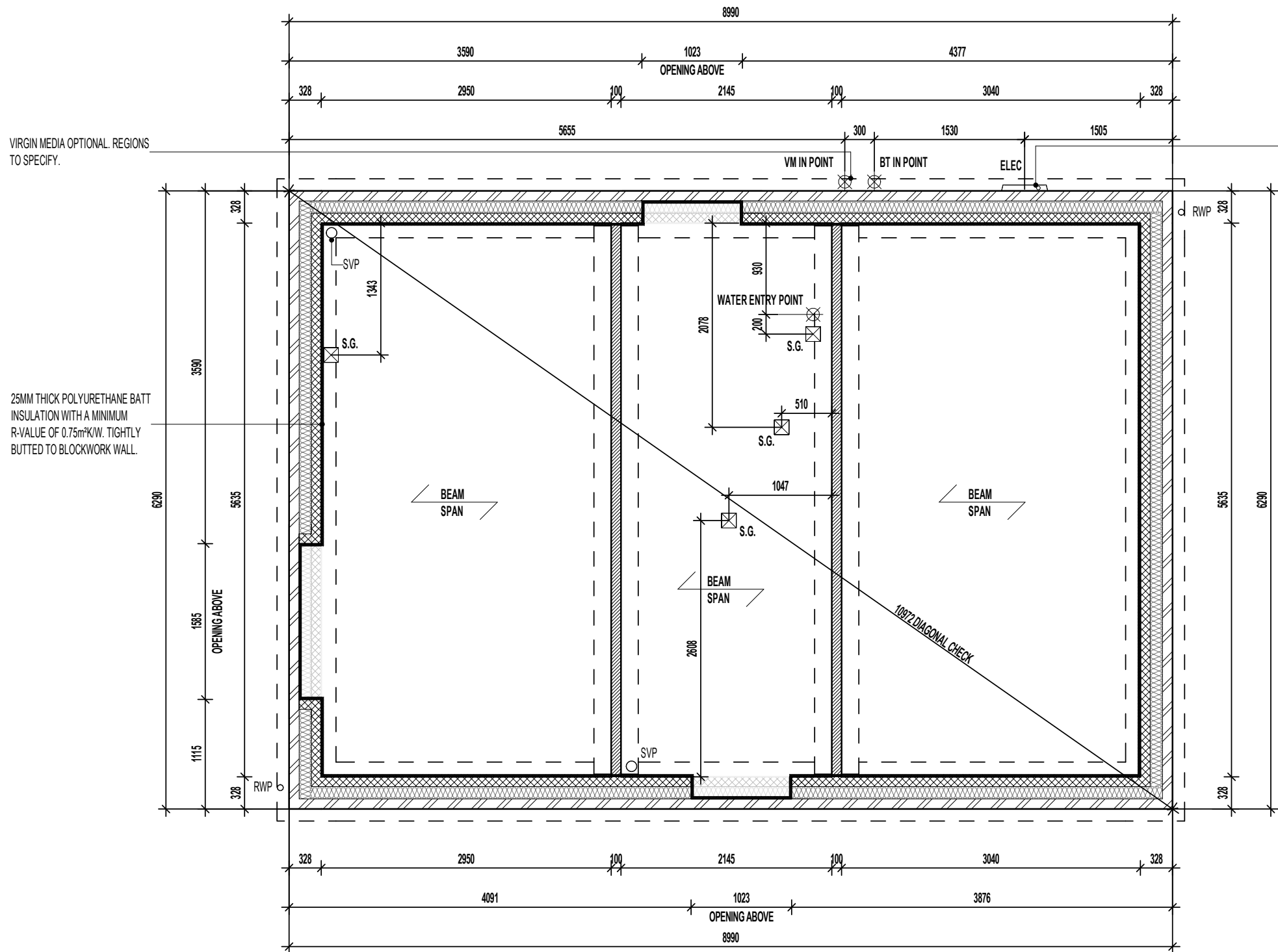
BEAM & BLOCK / EPS UNDERFLOOR VOID VENTILATION

VENTILATION SHOULD BE PROVIDED TO PRECAST SUSPENDED FLOORS IN ACCORDANCE WITH CHAPTER 5.2.10 OF LATEST NHBC TECHNICAL STANDARDS .
(GENERALLY PROVIDED BY VENTILATORS ON AT LEAST TWO OPPOSITE EXTERNAL WALLS.

WHERE SLEEPER WALLS / PARTITIONS PROVIDED, THESE SHOULD BE CONSTRUCTED WITH SUFFICIENT OPENINGS TO ENSURE ADEQUATE THROUGH VENTILATION.

VOID VENTILATION SHOULD BE PROVIDED TO WHICHEVER GIVES THE GREATER OPENING AREA:

- 1500MM² PER METRE RUN OF EXTERNAL WALL
- 500MM² PER M² OF FLOOR AREA.



LOCATION OF METER BOXES.
CONTACT SERVICE PROVIDER FOR
CONFIRMATION OF METER
POSITIONS.

BEAM AND EPS FOUNDATION PLAN

REFER TO MANUFACTURERS DRAWINGS FOR FURTHER INFORMATION

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

G.T.

Date

26.01.24

Drawing No.

L361108

Revision

C1

Project Title

L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title

ASHP BEAM AND EPS FOUNDATION PLAN

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA INDEPENDENT
BOOST SWITCH.

RE-CIRCULATION COOKER HOOD
EXTRACT TO BE INSTALLED OVER
HOB.

FULL HEIGHT SVP BOXING.
SVP WRAPPED WITH MIN. 25MM
MINERAL FIBRE INSULATION &
BOARDED WITH 2 No. LAYERS OF
12.5MM GYPROC WALLBOARD.

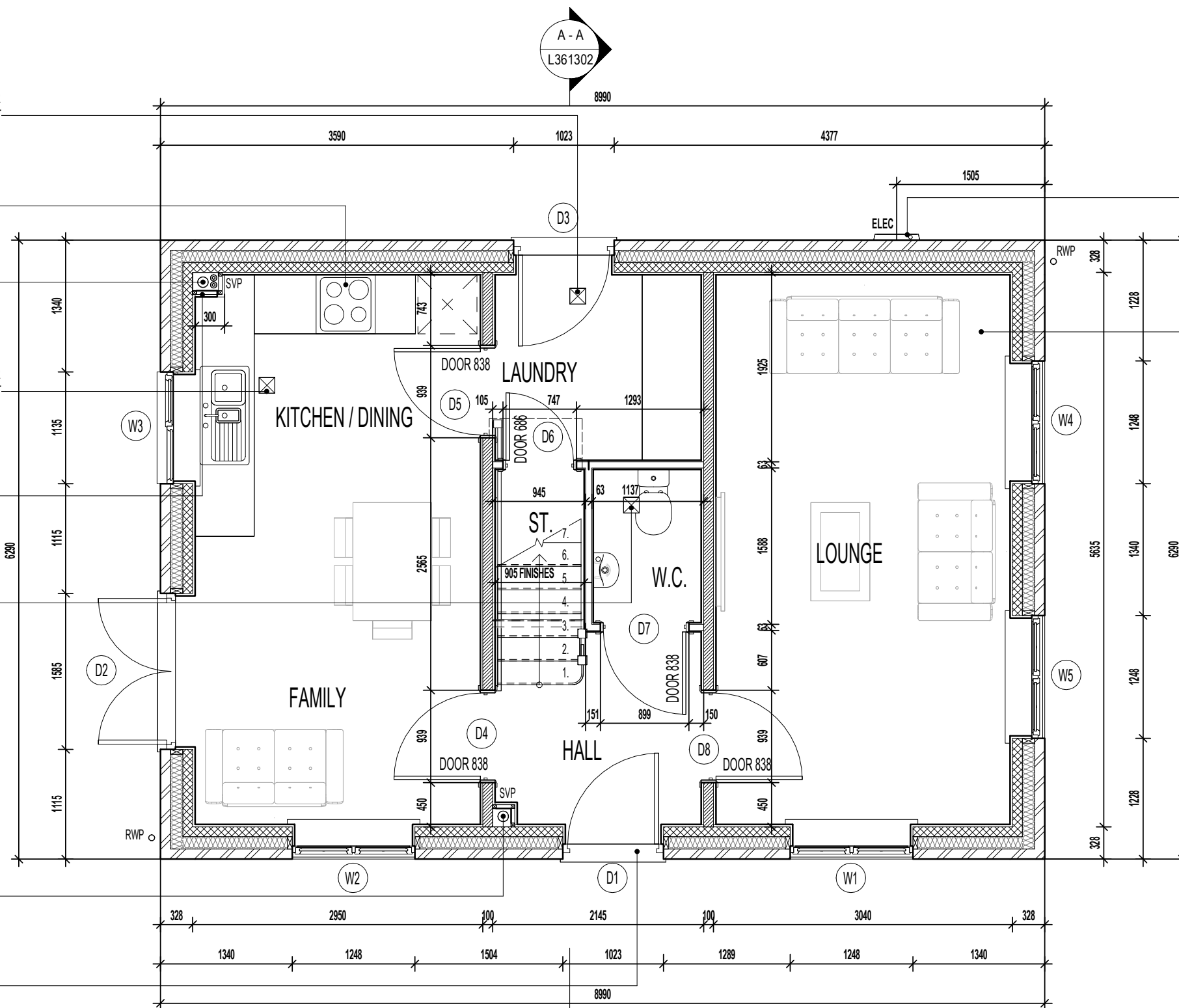
CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA INDEPENDENT
BOOST SWITCH.

SVP BOXING TO BE 300MM AS
DENOTED TO ENCLOSE ASHP FLOW
AND RETURN INSULATED PIPEWORK.

CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA ROOM LIGHT
SWITCH.

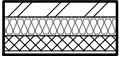
FULL HEIGHT SVP BOXING.
SVP WRAPPED WITH MIN. 25MM
MINERAL FIBRE INSULATION &
BOARDED WITH 2 No. LAYERS OF
12.5MM GYPROC WALLBOARD.

INTERNAL THRESHOLD STRIP TO
FRONT ENTRANCE TO BE MAX. 15MM
IN HEIGHT WITH CHAMFERED EDGES.



GROUND FLOOR PLAN

WALL LEGEND.

-  DENOTES 353MM THICK CAVITY WALL :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
- 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH
-  DENOTES 150MM THICK LOAD BEARING PARTITION WALL :
- 12.5MM GYPROC WALLBOARD DRYLINING ON DABS WITH NOMINAL SKIM FINISH
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK
- 12.5MM GYPROC WALLBOARD DRYLINING ON DABS WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD ON DABS.
-  DENOTES 93MM THICK NON LOAD BEARING PARTITION WALL :
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
- 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.

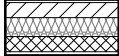
LOCATION OF METER BOXES.
CONTACT SERVICE PROVIDER FOR
CONFIRMATION OF METER
POSITIONS.

CEILINGS THROUGHOUT LIVING
AREAS OF GROUND FLOOR TO BE
PROVIDED WITH 15MM GYPROC
WALLBOARD (9.8Kg/M²).

ELEVATIONAL TREATMENT-

TIMBER STUD PARTITION BUILD-UP AS
PER WALL LEGEND. CONTINUOUS
BEADS OF GYPROC SEALANT AT
HEADS, SOLES, ABUTMENTS AND
PERIMETER SEALANT TO DOOR SETS
TO MAINTAIN ACOUSTIC
PERFORMANCE. OVERALL THICKNESS
OF THE PARTITION SHOULD SUIT A
100MM WIDE DOOR LINING. FIXINGS
TO BE IN STRICT ACCORDANCE WITH
MANUFACTURERS DETAILS.

REFER TO RELEVANT HOUSE TYPE ELEVATIONS FOR ELEVATIONAL TREATMENT
AND EXTENT OF ALTERNATIVE EXTERNAL WALL CONSTRUCTION.

 370MM THICK BLOCKWORK CAVITY WALL CONSTRUCTION:
SEE ELEVATIONS FOR EXTERNAL WALL FINISH & LOCATIONS

- EXTERNAL WALL FINISHES: MIN. 20MM THICK WEBER MONOCOUCHE
RENDER APPLIED TO SUBSTRATE IN ACCORDANCE WITH
MANUFACTURER'S SPECIFICATION.
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK.
- 125MM WIDE INSULATED CAVITY.
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK.
- 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH.

VERTICAL MOVEMENT JOINT TO BE INSTALLED AT JUNCTIONS BETWEEN
BRICKWORK AND BLOCKWORK EXTERNAL SKIN. REFER TO
ELEVATIONS FOR LOCATIONS.

FOR NON LOAD BEARING STUD
PARTITIONS REFER TO REGIONAL
OFFICE FOR SITE CONSTRUCTION
SPECIFICATION. PLEASE NOTE THIS
DRAWING INDICATES 63MM TIMBER
STUD PARTITION. INTERNAL ROOM
DIMENSIONS MAY VARY DEPENDING
UPON STUD PARTITION
SPECIFICATION.

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

G.T.

Date

26.01.24

Drawing No.

L361205

Revision

C1

Project Title

L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title

ASHP GROUND FLOOR PLAN

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

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www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

ALL PADSTONES TO BE 225 DEEP X 440MM LONG CLASS B ENG. BRICK IN CLASS 3 MORTAR TO PROVIDE SUPPORT FOR GIRDER TRUSS. REFER TO TRUSS MANUFACTURER'S DESIGN FOR EXACT LOCATION.

POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.

FULL HEIGHT SVP BOXING. SVP WRAPPED WITH MIN. 25MM MINERAL FIBRE INSULATION & BOARDED WITH 2 No. LAYERS OF 12.5MM GYPROC WALLBOARD.

WASTE PIPES TO RUN ABOVE FLOOR LEVEL AS SHOWN.

DRAUGHT PROOFED AND INSULATED LOFT ACCESS HATCH. P.V. PANEL INVERTER BOX TO BE LOCATED IN ROOF SPACE ADJACENT TO LOFT HATCH - (REFER TO MANUFACTURERS DETAILS)

WHERE ASHP TO BE INSTALLED, CYLINDER CUPBOARD TO BE BUILT IN USING STANDARD STUDWORK AND 762MM DOOR SET AS DENOTED.

100 X 70MM S.W. STUDWORK TO FORM BULKHEAD. TIMBER BEARERS SPANNING ACROSS STAIRWELL OPENING TO SUPPORT PARTITIONING. RAKING TIMBERS TO BE FIXED TO FLOOR JOIST AND BACK TO BEARERS AS SHOWN. STORE DOOR TO BE SET FORWARD TO ALLOW FOR A FULL HEIGHT DOOR.

CEILINGS THROUGHOUT FIRST FLOOR TO BE PROVIDED WITH 15MM GYPROC WALLBOARD (9.8kg/M²).

INDICATES LOCATION OF GIRDER TRUSS - SEE MANUFACTURER'S DESIGN FOR EXACT LOCATION.

LINTEL OVER WINDOW DESIGNED TO SUPPORT GIRDER TRUSS LOCATED DIRECTLY OVER (IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DETAILS)

FULL HEIGHT SVP BOXING. SVP WRAPPED WITH MIN. 25MM MINERAL FIBRE INSULATION & BOARDED WITH 2 No. LAYERS OF 12.5MM GYPROC WALLBOARD.

WASTE PIPES TO RUN ABOVE FLOOR LEVEL AS SHOWN.

ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS :-

ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED FOR AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

ALL PADSTONES TO BE 225 DEEP X 440MM LONG CLASS B ENG. BRICK IN CLASS 3 MORTAR TO PROVIDE SUPPORT FOR GIRDER TRUSS. REFER TO TRUSS MANUFACTURER'S DESIGN FOR EXACT LOCATION.

TIMBER STUD PARTITION BUILD-UP AS PER WALL LEGEND. CONTINUOUS BEADS OF GYPROC SEALANT AT HEADS, SOLES, ABUTMENTS AND PERIMETER SEALANT TO DOOR SETS TO MAINTAIN ACOUSTIC PERFORMANCE. OVERALL THICKNESS OF THE PARTITION SHOULD SUIT A 100MM WIDE DOOR LINING. FIXINGS TO BE IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS.

FOR NON LOAD BEARING STUD PARTITIONS REFER TO REGIONAL OFFICE FOR SITE CONSTRUCTION SPECIFICATION. PLEASE NOTE THIS DRAWING INDICATES 63MM TIMBER STUD PARTITION. INTERNAL ROOM DIMENSIONS MAY VARY DEPENDING UPON STUD PARTITION SPECIFICATION.

TIMBER RACKING WALL AS PER STRUCTURAL ENGINEERS DETAILS.

INDICATES LOCATION OF GIRDER TRUSS - SEE MANUFACTURER'S DESIGN FOR EXACT LOCATION.

LINTEL OVER WINDOW DESIGNED TO SUPPORT GIRDER TRUSS LOCATED DIRECTLY OVER (IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DETAILS)

POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.

WALL LEGEND.

- DENOTES 353MM THICK CAVITY WALL :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
- 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH
- DENOTES 150MM THICK LOAD BEARING PARTITION WALL :
- 12.5MM GYPROC WALLBOARD DRYLINING ON DABS WITH NOMINAL SKIM FINISH
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK
- 12.5MM GYPROC WALLBOARD DRYLINING ON DABS WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD ON DABS.
- DENOTES 93MM THICK NON LOAD BEARING PARTITION WALL :
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
- 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.
- DENOTES 105MM THICK STRUCTURAL RACKING WALL :
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- 12MM PLYWOOD SHEATHING (TO E/S SIDE ONLY)
- 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
- 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.
- NOTE: END STUDS FIXED TO BLOCKWORK WITH RESIN ANCHORS @MAX 450MM VERTICAL CENTRES.

ELEVATIONAL TREATMENT-

REFER TO RELEVANT HOUSE TYPE ELEVATIONS FOR ELEVATIONAL TREATMENT AND EXTENT OF ALTERNATIVE EXTERNAL WALL CONSTRUCTION.

370MM THICK BLOCKWORK CAVITY WALL CONSTRUCTION: SEE ELEVATIONS FOR EXTERNAL WALL FINISH & LOCATIONS

- EXTERNAL WALL FINISHES: MIN. 20MM THICK WEBER MONOCOUCHE RENDER APPLIED TO SUBSTRATE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK.
- 125MM WIDE INSULATED CAVITY.
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK.
- 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH.

VERTICAL MOVEMENT JOINT TO BE INSTALLED AT JUNCTIONS BETWEEN BRICKWORK AND BLOCKWORK EXTERNAL SKIN. REFER TO ELEVATIONS FOR LOCATIONS.

G. GUARDING TO BE PROVIDED AT 1100MM FROM FFL. NOTE: GUARDING MAY BE OMITTED IF BUILD TOLERANCE TO WINDOW OPENING IS WITHIN A RANGE OF MAXIMUM 1100MM AND MINIMUM 1000MM.

FIRST FLOOR PLAN

Project Title
L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP FIRST FLOOR PLAN

Revision Note:

FF STAIR BALUSTRADE OMITTED & ½ HEIGHT PARTITION DENOTED IN LIEU

Scale

1 : 50

Drawn By

G.T.

Date

26.01.24

Drawing No.

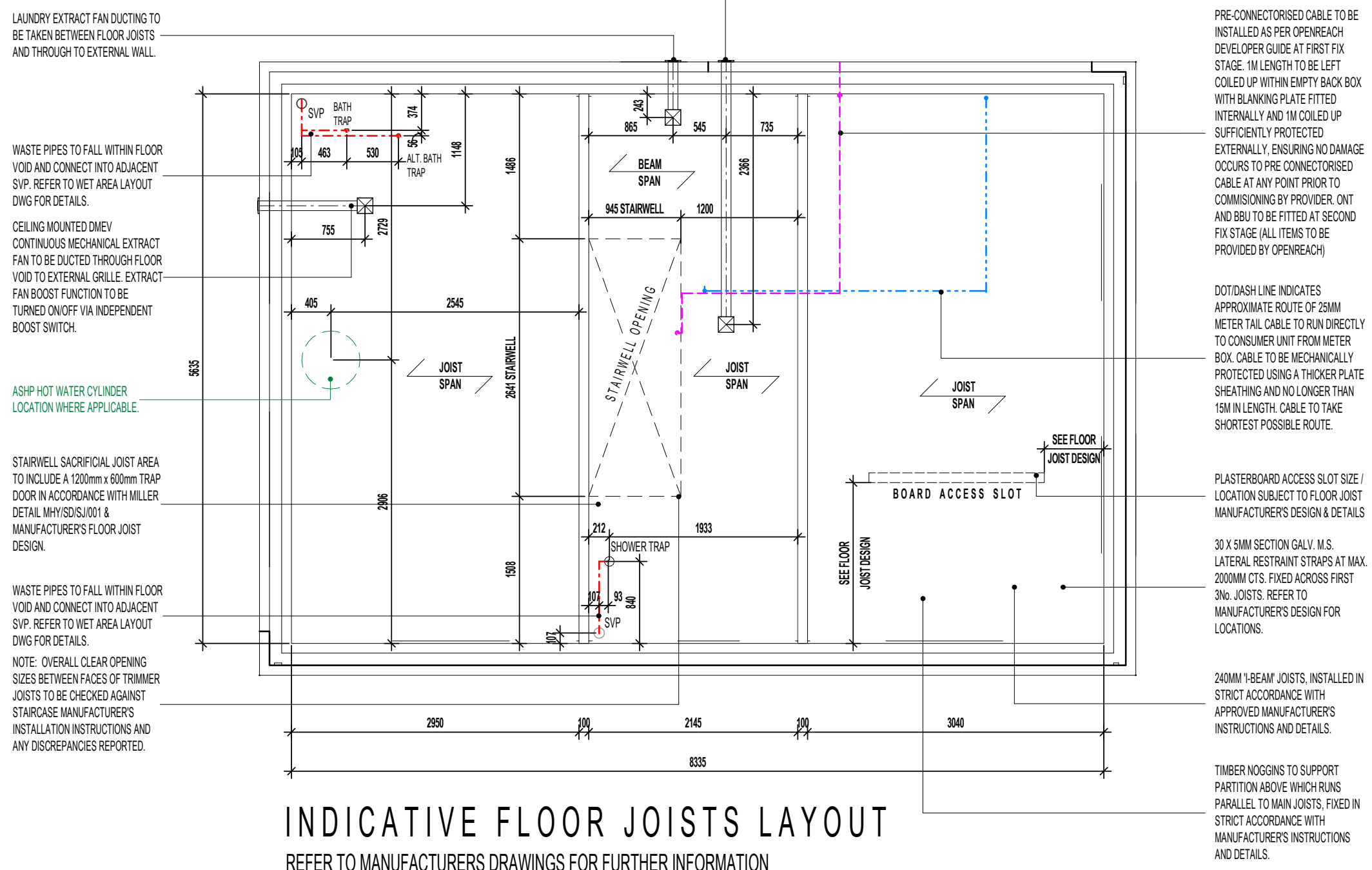
L361206

Revision

C2

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING



INDICATIVE FLOOR JOISTS LAYOUT
REFER TO MANUFACTURERS DRAWINGS FOR FURTHER INFORMATION

Project Title
**L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION**

Drawing Title
INDICATIVE FLOOR JOIST LAYOUT

Revision Note:
CONSTRUCTION ISSUE

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.		Revision
L361301		C1



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COLD ROOF CONSTRUCTION DETAILS: - (IN ACCORDANCE WITH NHBC STANDARDS 7.2.15)

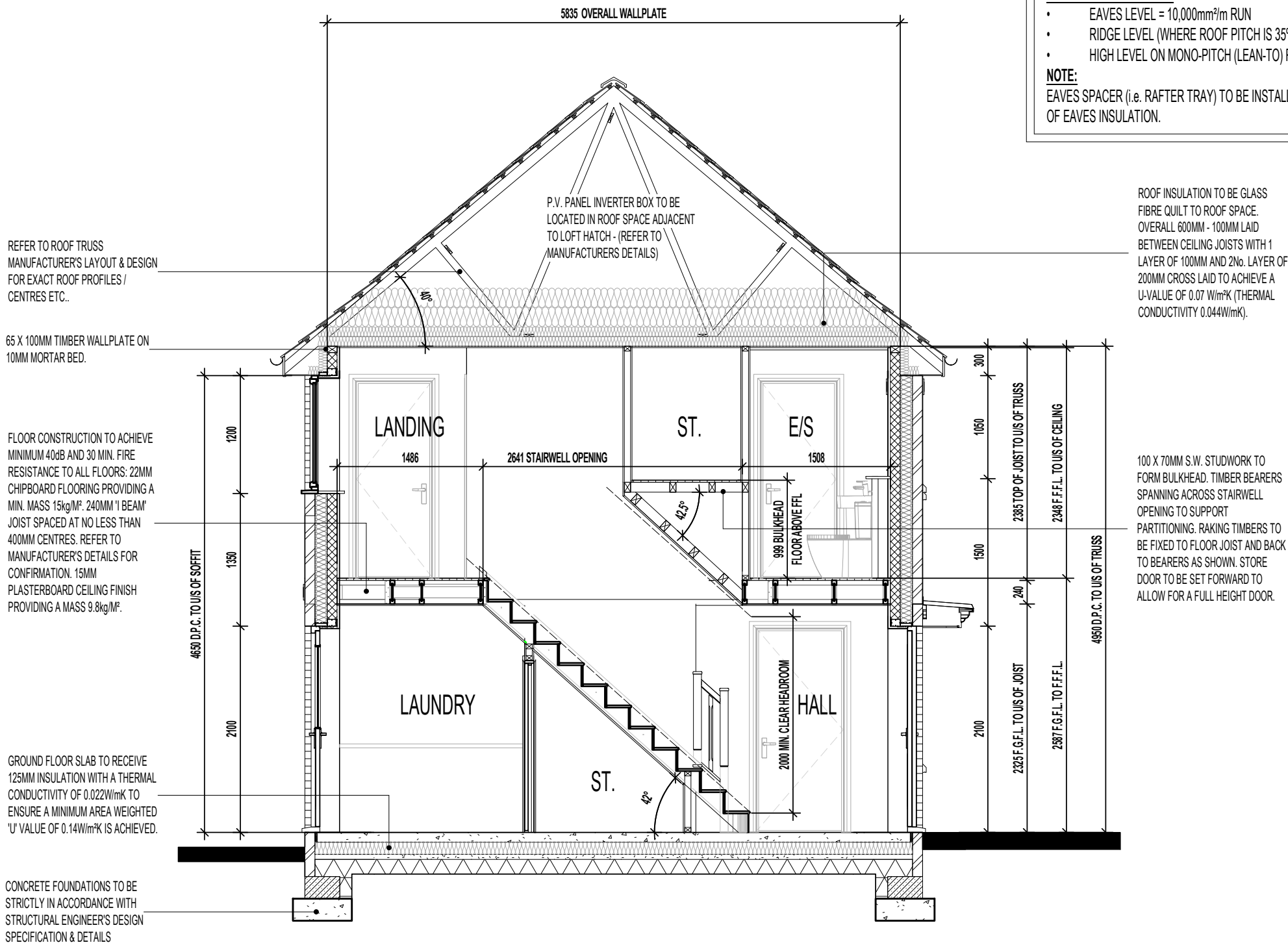
- ROOF UNDERLAY = VAPOUR IMPERMEABLE (TYPE HR)

VENTILATION PROVISION:

- EAVES LEVEL = 10,000mm²/m RUN
- RIDGE LEVEL (WHERE ROOF PITCH IS 35° OR ABOVE OR EXCEEDS 10M CLEAR SPAN) = 5,000mm²/m RUN
- HIGH LEVEL ON MONO-PITCH (LEAN-TO) ROOFS = 5,000mm²/m RUN

NOTE:

EAVES SPACER (i.e. RAFTER TRAY) TO BE INSTALLED TO MAINTAIN 25MM CLEAR AIRWAY OVER FULL LENGTH OF EAVES INSULATION.



SECTION A-A

FOUNDATIONS ARE INDICATIVE ONLY AND STRUCTURAL ENGINEERS DETAILS SHOULD BE READ IN CONJUNCTION WITH THIS DRAWING.

Revision Note:

ROOF VENTILATION LEGEND ADDED

Scale

1 : 50

Drawn By

G.T.

Date

06.11.23

Drawing No.

L361302

Revision

C2

Project Title

L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title

SECTION A-A

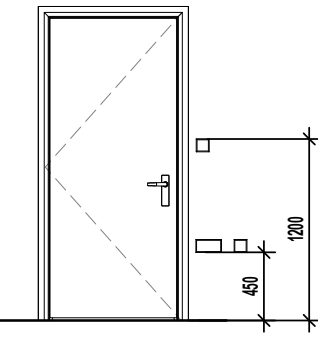
CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA INDEPENDENT
BOOST SWITCH.

RE-CIRCULATION COOKER HOOD
EXTRACT TO BE INSTALLED OVER
HOB.

SVP BOXING TO BE 300MM AS
DENOTED TO ENCLOSE ASHP FLOW
AND RETURN INSULATED PIPEWORK.

CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA INDEPENDENT
BOOST SWITCH.

PART M4(1) ~ ACCESSIBLE CONTROLS



- SWITCHES AND SOCKETS
- TV & TELEPHONE POINTS
- DOORBELLS & ENTRY PHONES

LOCATION OF METER BOXES.
CONTACT SERVICE PROVIDER FOR
CONFIRMATION OF METER
POSITIONS.

CEILING MOUNTED DMEV/
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA ROOM LIGHT
SWITCH.

ELECTRICAL LEGEND.

P.I.R.	WALL MOUNTED LIGHT FITTING WITH P.I.R.
○	PENDANT CEILING MOUNTED LOW ENERGY LIGHT.
D ○	DRUM LOW ENERGY LIGHT.
SD	CEILING MOUNTED SMOKE DETECTOR.
●	LIGHT SWITCH.
● 2 WAY	2 WAY LIGHT SWITCH.
⌋	DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL).
L	LOUNGE COMMUNICATION PLATE TO CONSIST OF : - CO-AXIAL (FEMALE SCREENED) MODULE - SATELLITE (FEMALE SCREENED) MODULE - BT 3
BT 1 ▲	BT POINT (ROUTER POSITION) - DAISY CHAIN LINKED TO BT 2
BT 2 ▲	BT POINT - (TELEPHONE POSITION) DAISY CHAIN LINKED TO BT 3 (LOUNGE PLATE)
COMMS ▲	FIBRE NETWORK INSTALLATION TERMINATION POINT - (EQUIPMENT AS SUPPLIED BY RELEVANT PROVIDER). REFER TO SEPARATE STANDARD DETAIL SV-GD-EN-008
CSP	EXTERNAL CUSTOMER SPLICE POINT LOCATION. (SUPPLIED BY PROVIDER)
⌋	DOOR CHIME.
◎	BELL PUSH.
R STAT	ROOM STAT.
CO.	CEILING MOUNTED CARBON MONOXIDE DETECTOR.
CON.	CONSUMER UNIT. (SWITCHES TO BE 1350MM TO 1450MM FROM FFL).
⌋	RADIATOR.
VM ▲	VIRGIN MEDIA - PLEASE CHECK WITH SALES ADVISOR FOR AVAILABILITY.
⊠	DMEV CEILING MOUNTED EXTRACT FAN.
⌋	BOILER FUSED SPUR
PV ▲	P.V. INVERTER ISOLATION SWITCH & P.V. GENERATION METER TO SPECIALISTS DETAILS.

GROUND FLOOR PLAN

Project Title
L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP GROUND FLOOR ELECTRICAL PLAN

Revision Note:

ROOM STAT MOVED TO SUIT ASHP HEATING DESIGN + ONT REPLACED WITH COMMS POINT & LEGEND UPDATED TO SUIT

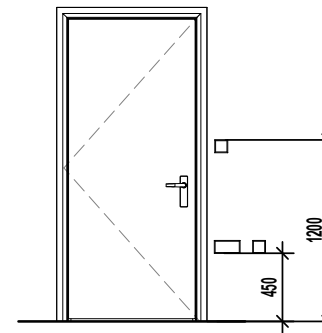
Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.	Revision	
L361514	C3	

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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

PART M4(1) ~ ACCESSIBLE CONTROLS



- SWITCHES AND SOCKETS
- TV & TELEPHONE POINTS
- DOORBELLS & ENTRY PHONES

ELECTRICAL LEGEND.

	PENDANT CEILING MOUNTED LOW ENERGY LIGHT.
	CEILING MOUNTED SMOKE DETECTOR.
	LIGHT SWITCH.
	2 WAY LIGHT SWITCH.
	RADIOFREQUENCY TEST & CONTROL SWITCH. (RADIO-LINKED TO MULTI SENSOR SMOKE & HEAT ALARM INSTALLED IN THE LOFT SPACE)
	DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL).
	DMEV WALL MOUNTED EXTRACT FAN.
	RADIATOR.
	SHOWER FITTING.
	ISOLATOR SWITCH HIGH LEVEL.
	ROOM STAT.
	FUSED SPUR.

ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS:-

ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED FOR AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

G. GUARDING TO BE PROVIDED AT 1100MM FROM FFL.
NOTE: GUARDING MAY BE OMITTED IF BUILD TOLERANCE TO WINDOW OPENING IS WITHIN A RANGE OF MAXIMUM 1100MM AND MINIMUM 1000MM.

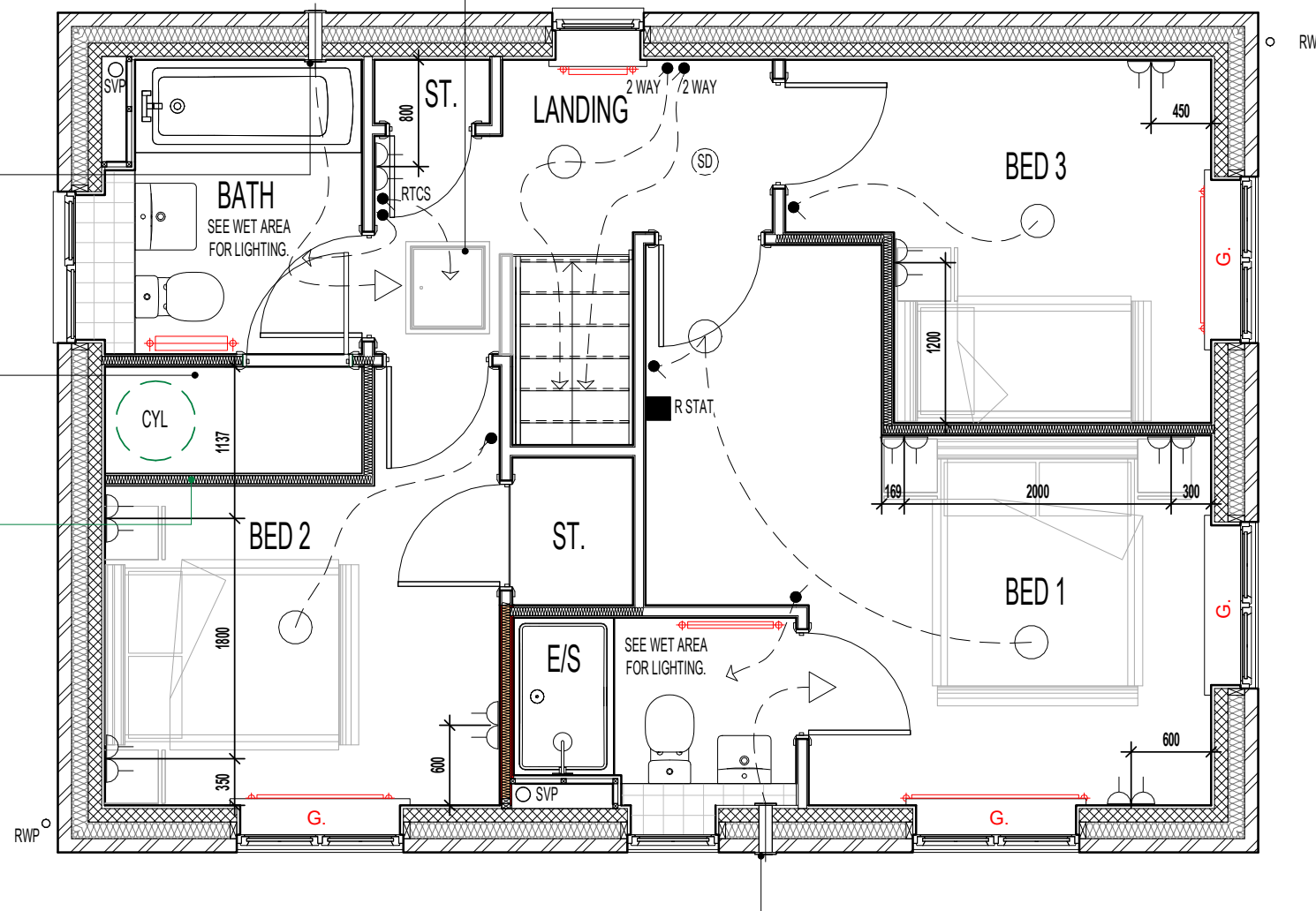
P.V. PANEL INVERTER BOX TO BE LOCATED IN ROOF SPACE ADJACENT TO LOFT HATCH - (REFER TO MANUFACTURERS DETAILS)

CEILING MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN TO BE DUCTED THROUGH ROOF VOID TO TILE VENT. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.

1NO. 3 AMP FUSED SPUR FOR CONTROL CIRCUIT & 1NO. 13 AMP FUSED SPUR FOR CYLINDER.

WHERE ASHP TO BE INSTALLED, CYLINDER CUPBOARD TO BE BUILT IN USING STANDARD STUDWORK AND 762MM DOOR SET AS DENOTED.

POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.



FIRST FLOOR PLAN

Project Title
L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP FIRST FLOOR ELECTRICAL PLAN

Revision Note:

FF STAIR BALUSTRADE OMITTED & ½ HEIGHT PARTITION DENOTED IN LIEU

Scale

1 : 50

Drawn By

G.T.

Date

06.11.23

Drawing No.

L361515

Revision

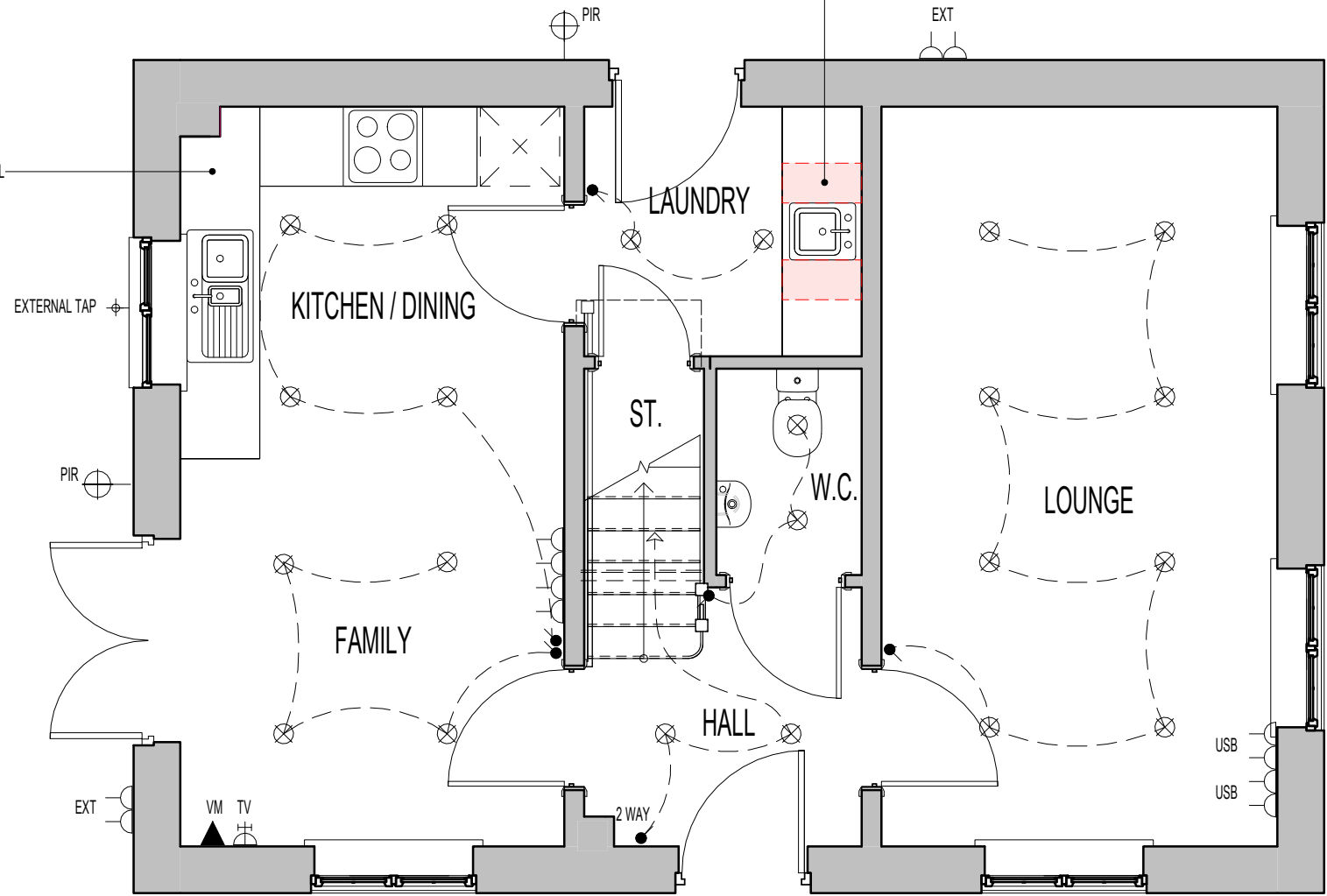
C4

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

NB - IF SINK OPTION INSTALLED,
ELECTRICAL ITEMS TO BE LOCATED
OUTSIDE OF HATCHED ZONE.

KITCHEN PLINTH LIGHTING OPTIONAL



GROUND FLOOR PLAN

ELECTRICAL LEGEND.

	LED DOWNLIGHTER.
	TV AERIAL SOCKET.
	VIRGIN MEDIA - PLEASE CHECK WITH SALES ADVISOR FOR AVAILABILITY.
	DOUBLE SWITCHED SOCKET OUTLET WITH USB CHARGING POINT (LOW LEVEL)
	EXTERNAL TAP
	EXTERNAL LIGHT (WITH P.I.R. & OVERRIDE SWITCH)
	EXTERNAL DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL).

HATCH INDICATES ZONES WHERE NO ELECTRICAL FITTINGS SHOULD BE INSTALLED ABOVE THE WORKTOP.

DOWNLIGHTER NOTES.

- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.
- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.
- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

OPTIONAL - TILING LEGEND.

NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT. SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.

HALF AND FULL HEIGHT TILING OPTIONS AVAILABLE TO W.C. BATHROOM AND ENSUITES.

Project Title
L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP GROUND FLOOR CUSTOMER OPTIONS

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

G.T.

Date

26.01.24

Drawing No.

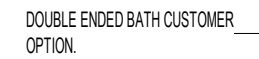
L361516

Revision

C1

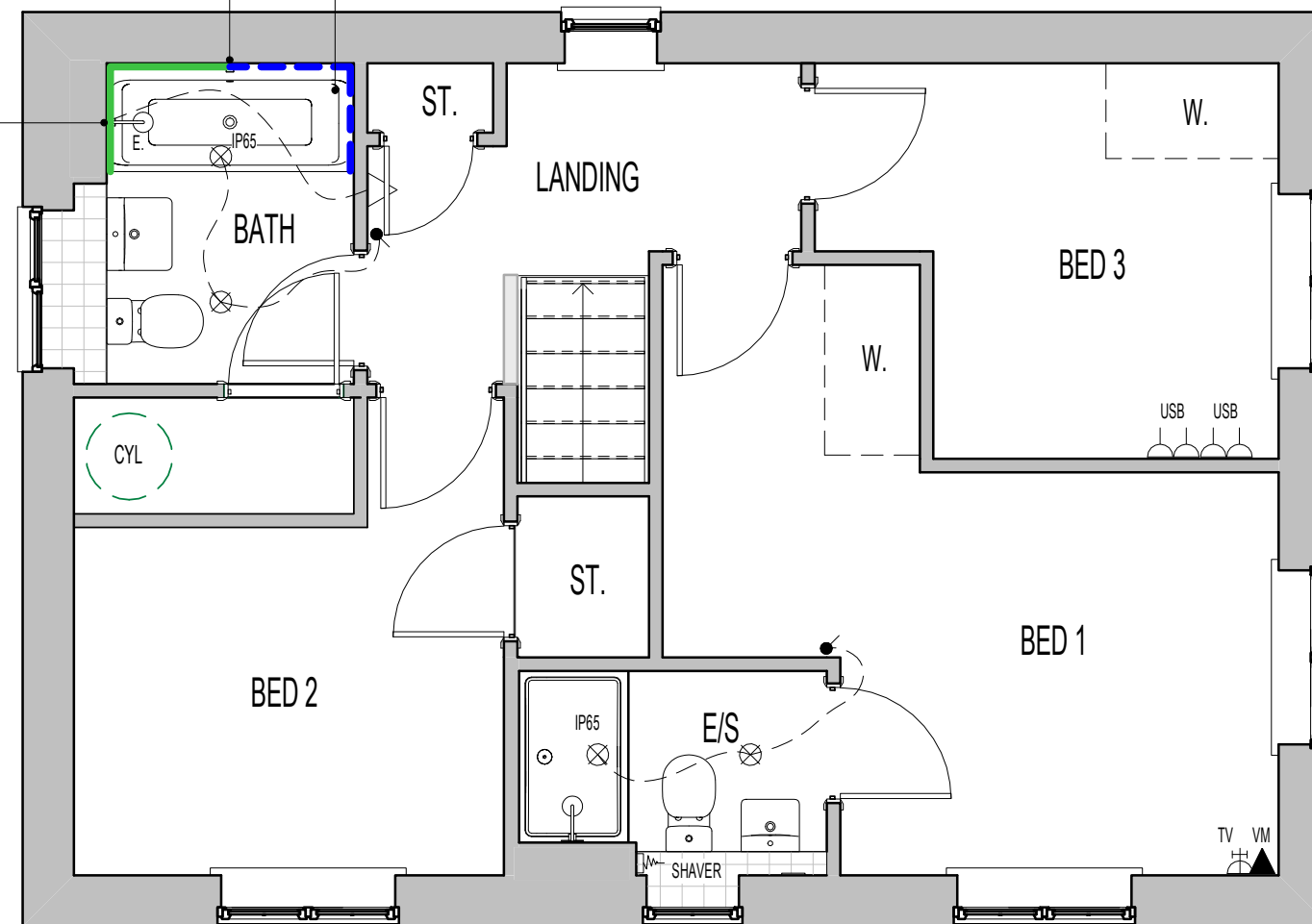
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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING



CONCEALED THERMOSTATIC VALVE
WITH WALL MOUNTED CONTROL UNIT
FOR BATH FILLER WASTE AND
OVERFLOW. (WHERE DOUBLE ENDED
BATH INSTALLED)

ELECTRIC SHOWER OVER BATH INDICATED. THERMOSTATIC SHOWER OPTION AVAILABLE BOTH WITH WALL TILING INCREASED TO FULL HEIGHT AROUND HALF THE BATH WITH SHOWER SCREEN.



FIRST FLOOR PLAN.

ELECTRICAL LEGEND.

	DOUBLE-POLE ISOLATING SWITCH, RATING TO SUIT APPLIANCE INSTALLED. WALL MOUNTED IN ACCORDANCE WITH IEE REGULATIONS
 E.	ELECTRIC SHOWER FITTING OVER BATH.
TV 	TV AERIAL SOCKET.
VM 	VIRGIN MEDIA - PLEASE CHECK WITH SALES ADVISOR FOR AVAILABILITY.
	SHAVER SOCKET
	LED DOWNLIGHTER (IP65 RATED WHERE INDICATED).
 USB	DOUBLE SWITCHED SOCKET OUTLET WITH USB CHARGING POINT (LOW LEVEL)

PLAN LEGEND.

W. OPTIONAL WARDROBE.
- CHECK WITH SALES ADVISOR FOR STYLE AND AVAILABILITY.

DOWNLIGHTER NOTES.

- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.
- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.
- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

OPTIONAL - TILING LEGEND.

NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT.
SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.

	DENOTES EXTENT OF FULL HEIGHT TILING. (WHERE SHOWER OPTION CHOSEN)
	DENOTES EXTENT OF 400MM HEIGHT OVER BATH TILING.

HALF AND FULL HEIGHT TILING OPTIONS AVAILABLE TO W.C. BATHROOM AND ENSUITES.

Revision Note:

FF STAIR BALUSTRADE OMITTED & ½ HEIGHT PARTITION DENOTED IN LIEU

Project Title

L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title

ASHP FIRST FLOOR CUSTOMER OPTIONS

Scale

1 : 50

Drawn By

	G.T.
--	------

Date _____

26.01.24

Drawing No.

L361517

Revision

C2

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

TILING LEGEND.

NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT.
SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.



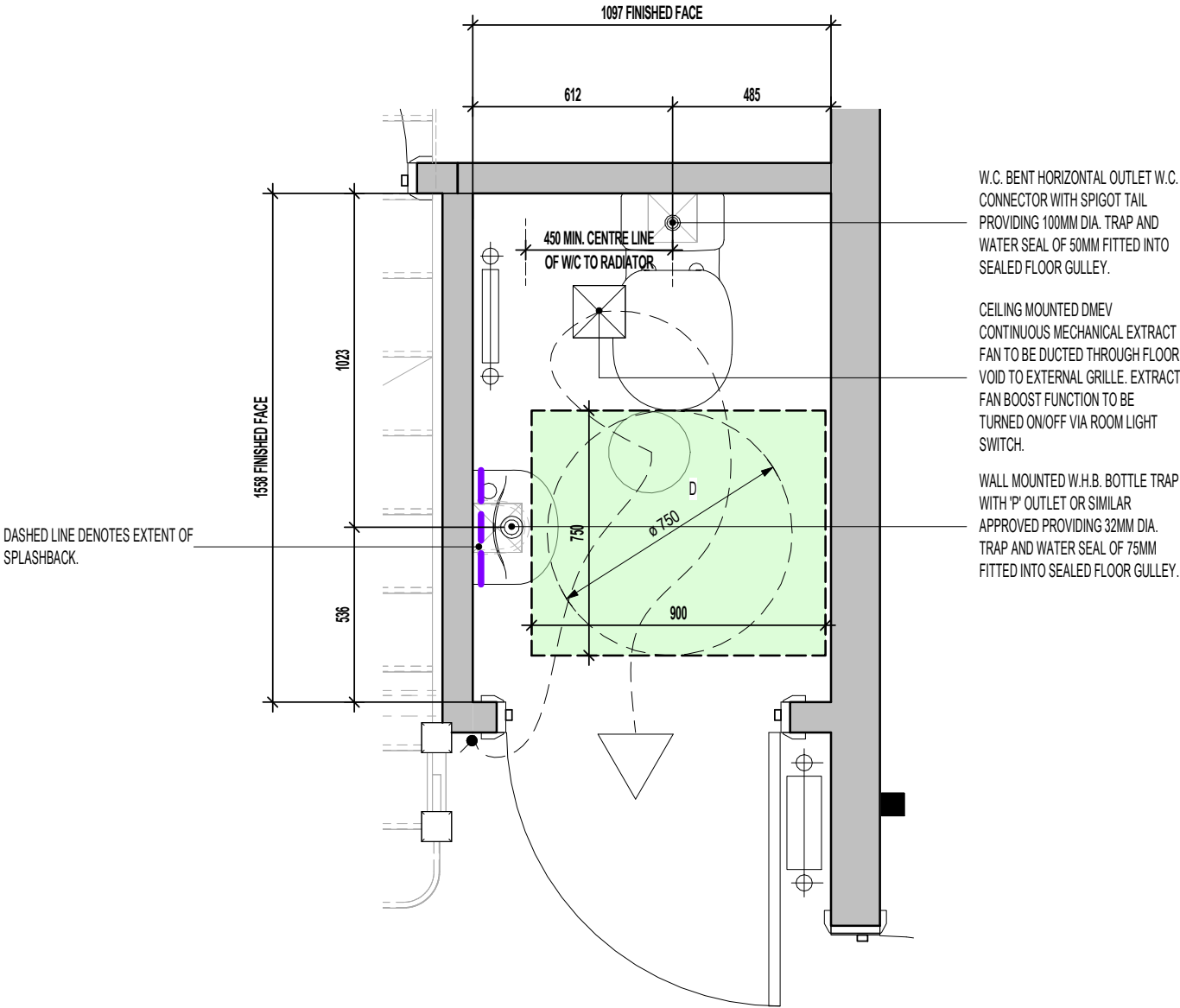
DENOTES EXTENT OF 1 ROW TILED SPLASHBACK.

SANITARYWARE SCHEDULE - W.C.

LOCATION	ITEM	SIZE
W.C.	WC PAN & CISTERN	360mm x 660mm
W.C.	350 WHB RH TAP & FULL PEDESTAL	350mm x 262mm

ELECTRICAL LEGEND.

D	DRUM LOW ENERGY LIGHT.
●	LIGHT SWITCH.
⊠	DMEV CEILING MOUNTED EXTRACT FAN.
⌞⌞⌞	RADIATOR.
△	ISOLATOR SWITCH HIGH LEVEL.



W.C. LAYOUT
SCALE : 1:20

FOR ALTERNATIVE LED DOWNLIGHTER LOCATIONS, REFER TO CUSTOMER OPTIONS LAYOUT.

Project Title
L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
W.C. LAYOUT

Revision Note:

CONSTRUCTION ISSUE

Scale

Drawn By

Date

As indicated

G.T.

06.11.23

Drawing No.

Revision

L361601

C1

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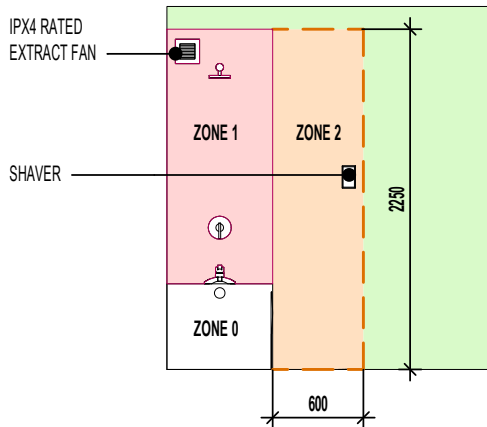
ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

TILING LEGEND. NB: TILING SUBSTRATE / TANKING PROVISION TO BE IN ACCORDANCE WITH STANDARD DETAIL REF:- GEN-GD-EN-006

NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT. SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.

	DENOTES EXTENT OF 400MM HEIGHT OVER BATH TILING.
	DENOTES EXTENT OF 1 ROW TILED SPLASHBACK

SANITARYWARE SCHEDULE - BATHROOM		
LOCATION	ITEM	SIZE
BATH	500 SEMI PEDESTAL WHB	500mm x 460mm
BATH	SINGLE ENDED BATH	1700mm x 700mm
BATH	WC PAN & CISTERN	360mm x 660mm



ELECTRICAL LEGEND.

	DRUM LOW ENERGY LIGHT.
	LIGHT SWITCH.
	DMEV WALL MOUNTED EXTRACT FAN.
	RADIATOR.
	ISOLATOR SWITCH HIGH LEVEL.

ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS:-

ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED FOR AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.

LOW LEVEL BATH TRAP PROVIDING 40MM DIA. TRAP WITH 50MM WATER SEAL WITH FLEXIBLE OVERFLOW TUBE CONNECTING TO BATH WASTE OVERFLOW OUTLET.

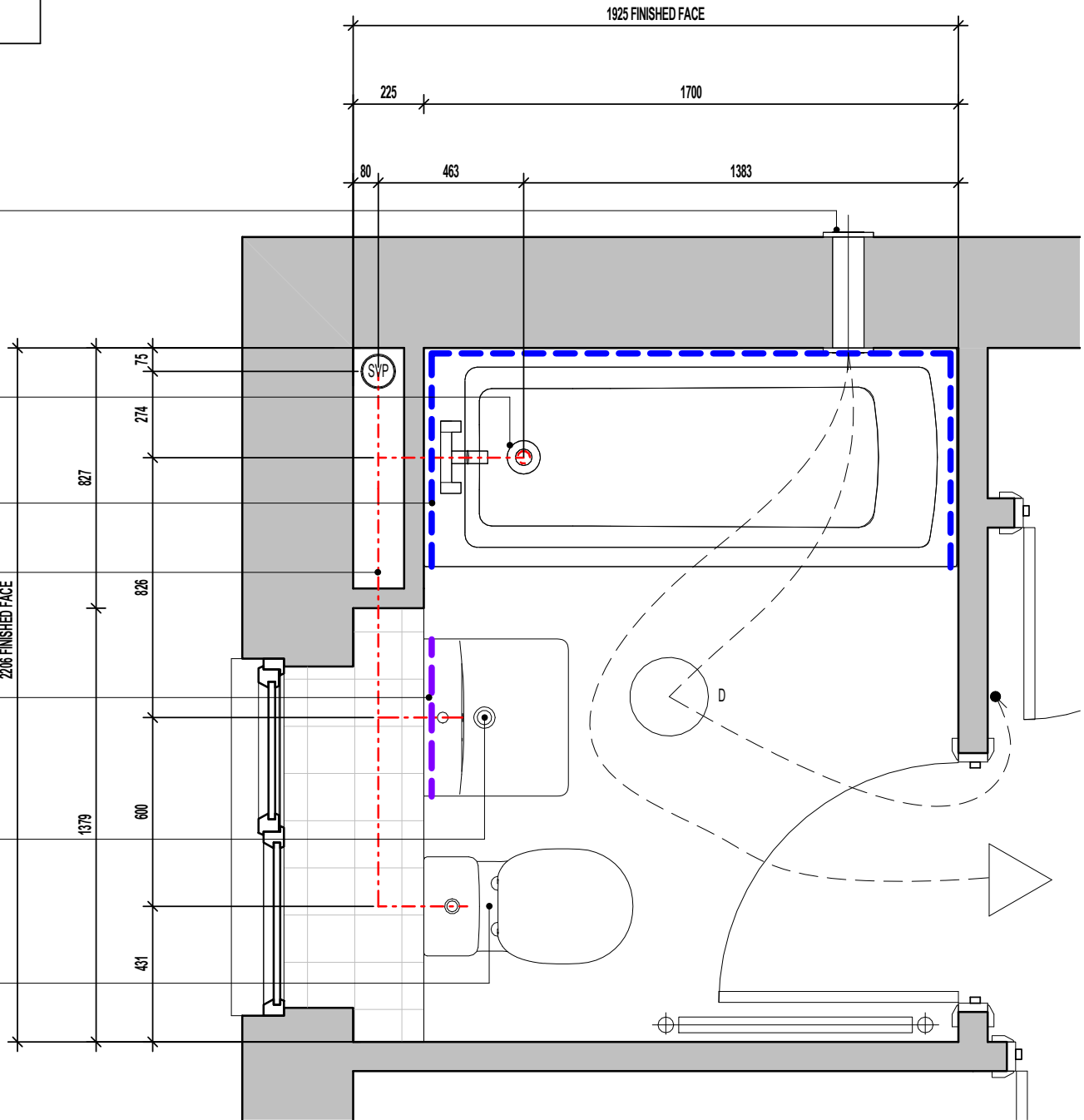
DASHED LINE INDICATES EXTENT OF 400MM HIGH TILING AROUND BATH

DRAINAGE TO BE TAKEN ABOVE FLOOR LEVEL WITHIN BOXING.

DASHED LINE DENOTES EXTENT OF SPLASHBACK.

SEMI-PEDESTAL W.H.B. BOTTLE TRAP WITH 'P' OUTLET OR SIMILAR APPROVED PROVIDING 32MM DIA. TRAP AND WATER SEAL OF 75MM. REFER TO SEPARATE DETAIL FOR CONCEALED DRAINAGE RUNS AND W.H.B. FIXING POSITIONS.

W.C. BENT HORIZONTAL OUTLET W.C. CONNECTOR PROVIDING 100MM DIA. TRAP AND WATER SEAL OF 50MM OR SIMILAR APPROVED CONNECTED TO ADJACENT SVP.



BATHROOM LAYOUT
SCALE : 1:20

FOR ALTERNATIVE LED DOWNLIGHTER LOCATIONS, REFER TO CUSTOMER OPTIONS LAYOUT.

Project Title
L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
BATHROOM LAYOUT

Revision Note:
CEILING MOUNTED EXTRACT FAN AMENDED TO WALL MOUNTED EXTRACT FAN & TILING SUBSTRATE / TANKING PROVISION DENOTED.

Scale	Drawn By	Date
As indicated	G.T.	06.11.23
Drawing No.	Revision	
L361604	C2	

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TILING LEGEND.

NB: TILING SUBSTRATE / TANKING PROVISION TO BE IN ACCORDANCE WITH STANDARD DETAIL REF: - GEN-GD-EN-006

NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT. SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.

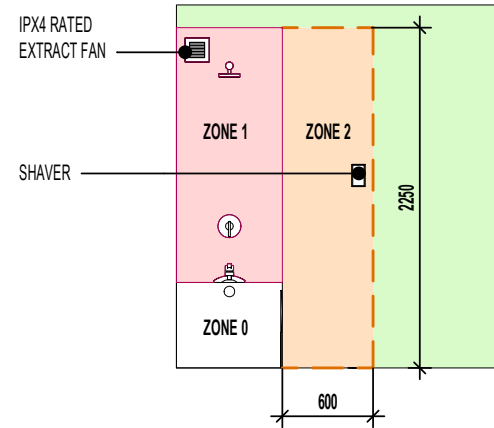
- DENOTES EXTENT OF FULL HEIGHT TILING.
- DENOTES EXTENT OF 1 ROW TILED SPLASHBACK

ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS: -

ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED FOR AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

SANITARYWARE SCHEDULE - EN SUITE

LOCATION	ITEM	SIZE
E/S	IS SIMPLICITY SHOWER TRAY - L5118	1210mm x 770mm
E/S	WC PAN & CISTERN	360mm x 660mm
E/S	400 SEMI PEDESTAL WHB	400mm x 360mm



ELECTRICAL LEGEND.

	DRUM LOW ENERGY LIGHT.
	LIGHT SWITCH.
	RADIATOR.
	DMEV WALL MOUNTED EXTRACT FAN.
	ISOLATOR SWITCH HIGH LEVEL.
	SHOWER HEAD.

SOLID LINE INDICATES EXTENT OF FULL HEIGHT TILING.

SHOWER TUBULAR SWIVEL TRAP OR SIMILAR APPROVED PROVIDING 40MM DIA. TRAP WITH 50MM WATER SEAL.

W.C. BENT HORIZONTAL OUTLET W.C. CONNECTOR PROVIDING 100MM DIA. TRAP AND WATER SEAL OF 50MM OR SIMILAR APPROVED CONNECTED TO ADJACENT SVP.

SEMI-PEDESTAL W.H.B. BOTTLE TRAP WITH 'P' OUTLET OR SIMILAR APPROVED PROVIDING 32MM DIA. TRAP AND WATER SEAL OF 75MM. REFER TO SEPARATE DETAIL FOR CONCEALED DRAINAGE RUNS AND W.H.B. FIXING POSITIONS.

HALF HEIGHT TILED BOXING TO BE TAKEN IN LINE WITH WINDOW CILL.

POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.

DRAINAGE TO BE TAKEN ABOVE FLOOR LEVEL WITHIN BOXING.

EN SUITE LAYOUT
SCALE : 1:20

FOR ALTERNATIVE LED DOWNLIGHTER LOCATIONS, REFER TO CUSTOMER OPTIONS LAYOUT.

Project Title
L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
EN SUITE LAYOUT

Revision Note:

CEILING MOUNTED EXTRACT FAN AMENDED TO WALL MOUNTED EXTRACT FAN & TILING SUBSTRATE / TANKING PROVISION DENOTED.

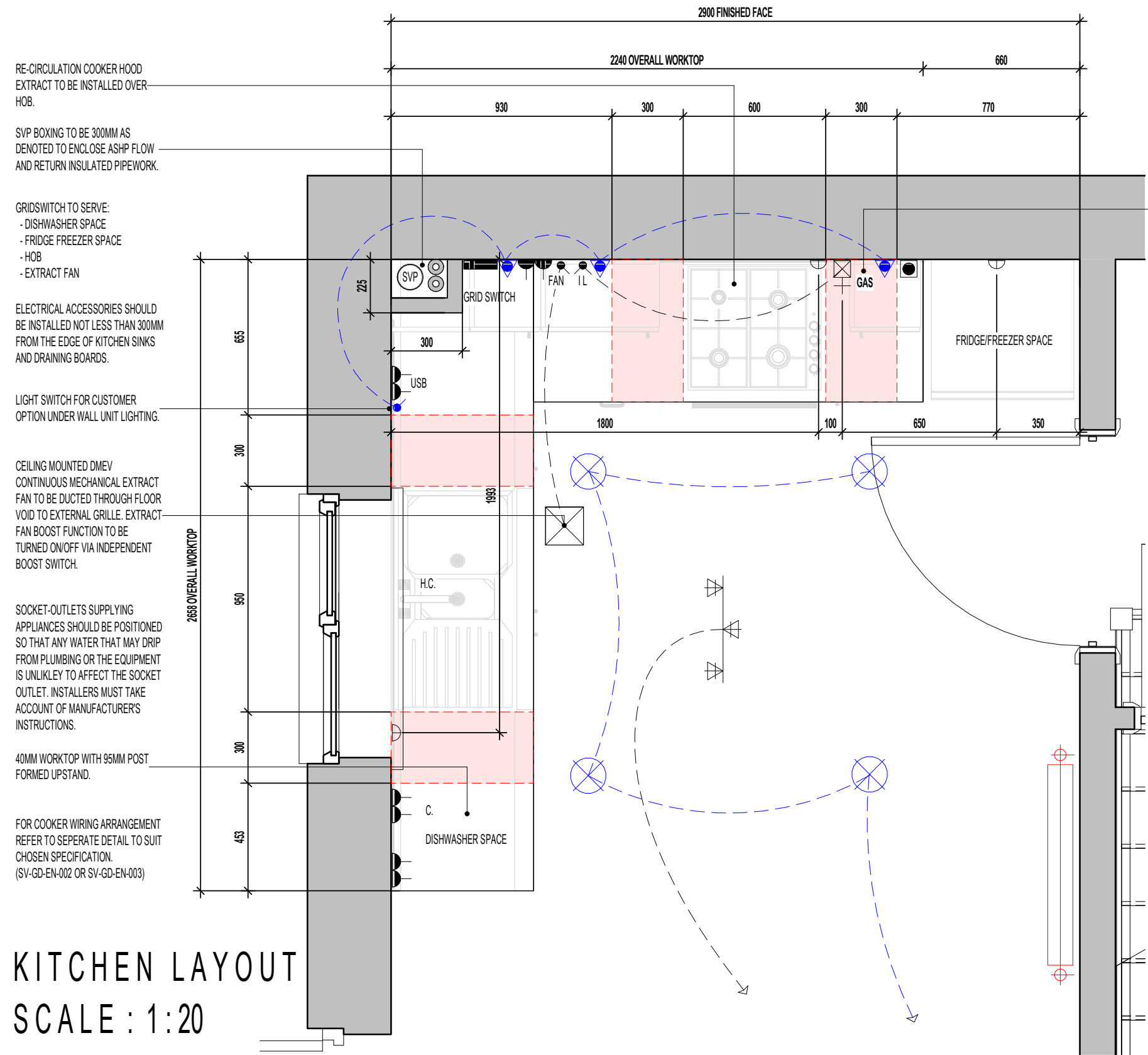
Scale As indicated Drawn By G.T. Date 06.11.23

Drawing No. L361605 Revision C2

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

REFER TO SUPPLIERS INFORMATION FOR CABINETRY. CHECK WITH REGIONAL OFFICE FOR SPECIFICATION LEVEL.



RE-CIRCULATION COOKER HOOD
EXTRACT TO BE INSTALLED OVER
HOB.

SVP BOXING TO BE 300MM AS
DENOTED TO ENCLOSE ASHP FLOW
AND RETURN INSULATED PIPEWORK.

GRIDSWITCH TO SERVE:
- DISHWASHER SPACE
- FRIDGE FREEZER SPACE
- HOB
- EXTRACT FAN

ELECTRICAL ACCESSORIES SHOULD
BE INSTALLED NOT LESS THAN 300MM
FROM THE EDGE OF KITCHEN SINKS
AND DRAINING BOARDS.

LIGHT SWITCH FOR CUSTOMER
OPTION UNDER WALL UNIT LIGHTING.

CEILING MOUNTED DMEV/
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA INDEPENDENT
BOOST SWITCH.

SOCKET-OUTLETS SUPPLYING
APPLIANCES SHOULD BE POSITIONED
SO THAT ANY WATER THAT MAY DRIP
FROM PLUMBING OR THE EQUIPMENT
IS UNLIKELY TO AFFECT THE SOCKET
OUTLET. INSTALLERS MUST TAKE
ACCOUNT OF MANUFACTURER'S
INSTRUCTIONS.

40MM WORKTOP WITH 95MM POST
FORMED UPSTAND.

FOR COOKER WIRING ARRANGEMENT
REFER TO SEPERATE DETAIL TO SUIT
CHOSEN SPECIFICATION.
(SV-GD-EN-002 OR SV-GD-EN-003)

GAS ISOLATOR VALVE ACCESS PANEL
AND LABEL TO BE INSTALLED BY
KITCHEN FITTER.

CUSTOMER OPTIONS.

ITEMS HIGHLIGHTED IN BLUE DENOTE CUSTOMER OPTIONS.

- WHERE APPLIANCE SPACES SHOWN, INTEGRATED APPLIANCES AVAILABLE
 - 22MM WORKTOP AVAILABLE
 - WINECOOLER AVAILABLE - LOCATION INDICATED
 - DOWNLIGHTER SPOTLIGHTS AVAILABLE - LOCATIONS AND QUANTITY INDICATED
 - LED UNDER UNIT LIGHT FITTING AND SWITCH.
 - PLINTH LIGHTS AND SWITCH.
 - INDUCTION HOB AVAILABLE.
 - DOUBLE OVEN AVAILABLE.
- PRODUCT VARIATIONS AVAILABLE, DISCUSS OPTIONS WITH SALES MANAGER.

DOWNLIGHTER NOTES.

- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.
- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.
- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

ELECTRICAL LEGEND

	3 SPOT TRACK LIGHT FITTING.
	LED DOWNLIGHTER (CUSTOMER OPTION).
	GRID SWITCH
	PRE-PRINTED ROCKERS TO GRIDSWITCH BANK.
	LIGHT SWITCH.
	SWITCH WITH NEON INDICATOR LIGHT.
	FAN
	DMEV FAN INDEPENDANT BOOSTER SWITCH.
	13AMP DOUBLE SWITCHED SOCKET. (1200MM ABOVE FLOOR TO U/S SOCKET)
	13AMP DOUBLE SWITCHED SOCKET WITH USB CHARGING SOCKET. (1200MM ABOVE FLOOR TO U/S SOCKET)
	13AMP UNSWITCHED SINGLE SOCKET FOR APPLIANCES - 450MM ABOVE FLOOR TO U/S SOCKET
	COOKER HOOD POWER. (1200MM ABOVE FLOOR TO U/S SOCKET)
	45AMP COOKER CONTROL FEED. - 450MM ABOVE FLOOR TO U/S SOCKET
	GAS
	GAS FEED FOR HOB.
	H. C.
	HOT AND COLD WATER FEEDS.
	RADIATOR
	DMEV CEILING MOUNTED EXTRACT FAN.
	UNDERWALL UNIT LED LIGHT FITTING (CUSTOMER OPTION).

HATCH INDICATES ZONES WHERE NO ELECTRICAL FITTINGS
SHOULD BE INSTALLED ABOVE THE WORKTOP.

KITCHEN LAYOUT SCALE : 1:20

Project Title
L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP KITCHEN LAYOUT

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 20

Drawn By

G.T.

Date

26.01.24

Drawing No.

L361611

Revision

C1

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

CUSTOMER OPTIONS.

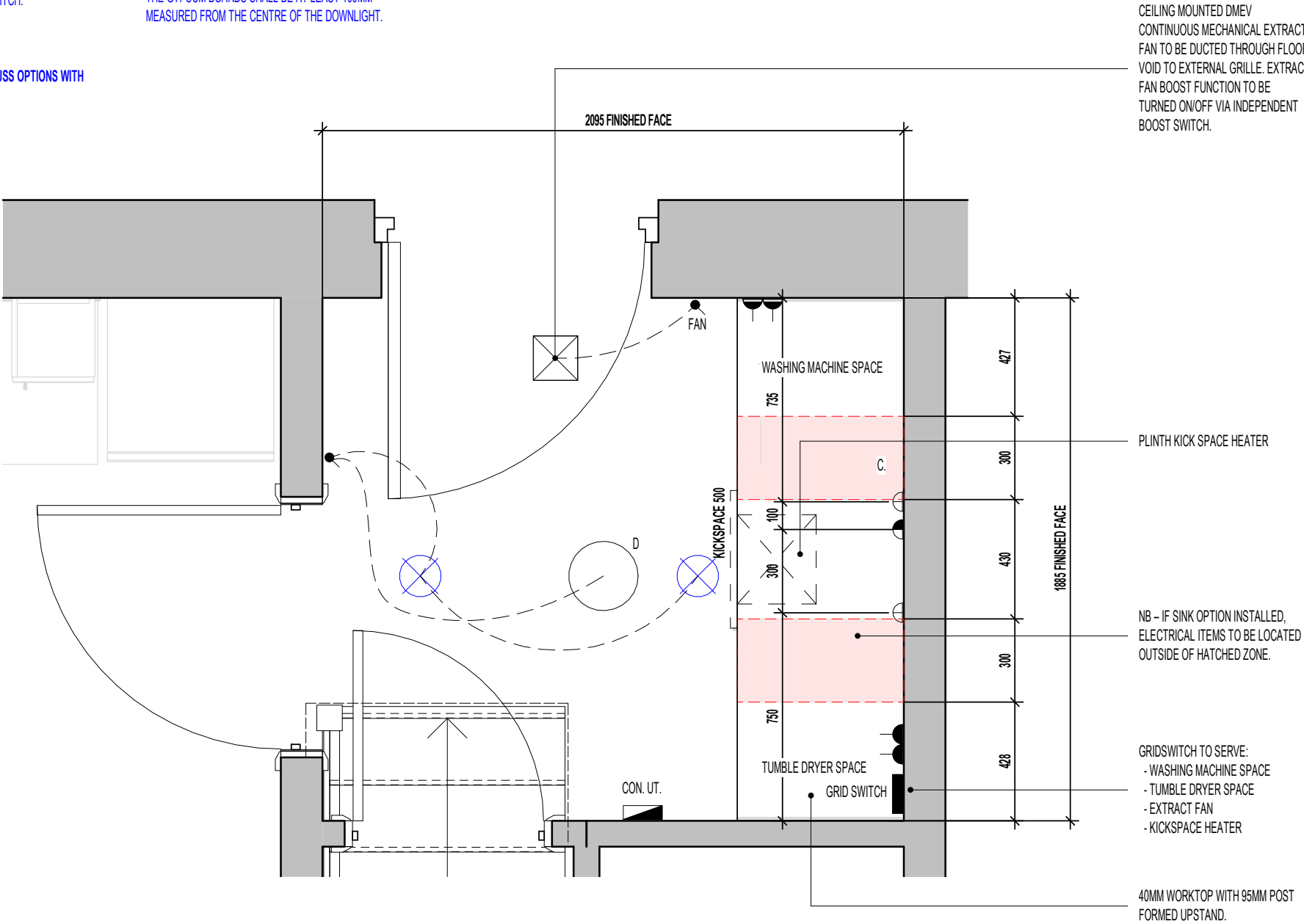
ITEMS HIGHLIGHTED IN BLUE DENOTE CUSTOMER OPTIONS.

- WHERE APPLIANCE SPACES SHOWN, INTEGRATED APPLIANCES AVAILABLE
- 22MM WORKTOP AVAILABLE
- WINECOOLER AVAILABLE - LOCATION INDICATED
- DOWNLIGHTER SPOTLIGHTS AVAILABLE - LOCATIONS AND QUANTITY INDICATED
- LED UNDER UNIT LIGHT FITTING AND SWITCH.
- PLINTH LIGHTS AND SWITCH.
- INDUCTION HOB AVAILABLE.
- DOUBLE OVEN AVAILABLE.

PRODUCT VARIATIONS AVAILABLE, DISCUSS OPTIONS WITH SALES MANAGER.

DOWNLIGHTER NOTES.

- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.
- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.
- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.



LAUNDRY LAYOUT
SCALE : 1:20

ELECTRICAL LEGEND	
	LOW ENERGY DRUM LIGHT
	LED DOWNLIGHTER (CUSTOMER OPTION).
GRID SWITCH 	PRE-PRINTED ROCKERS TO GRIDSWITCH BANK.
	LIGHT SWITCH
FAN 	DMEV FAN INDEPENDANT BOOSTER SWITCH.
	13AMP DOUBLE SWITCHED SOCKET. (1200MM ABOVE FLOOR TO U/S SOCKET)
CON. UT. 	CONSUMER UNIT. (SWITCHES TO BE 1350MM TO 1450MM FROM FFL).
	13AMP UNSWITCHED SINGLE SOCKET FOR APPLIANCES - 450MM ABOVE FLOOR TO U/S SOCKET
C. 	COLD WATER FEEDS.
	DMEV CEILING MOUNTED EXTRACT FAN.
	FUSED SPUR (KICKSPACE HEATER) - 450 ABOVE FLOOR TO U/S SPUR SOCKET
	RADIATOR

HATCH INDICATES ZONES WHERE NO ELECTRICAL FITTINGS SHOULD BE INSTALLED ABOVE THE WORKTOP.

Revision Note:
CONSTRUCTION ISSUE

Scale: 1 : 20 Drawn By: G.T. Date: 26.01.24

Drawing No. L361612 Revision: C1

Project Title
L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP LAUNDRY LAYOUT

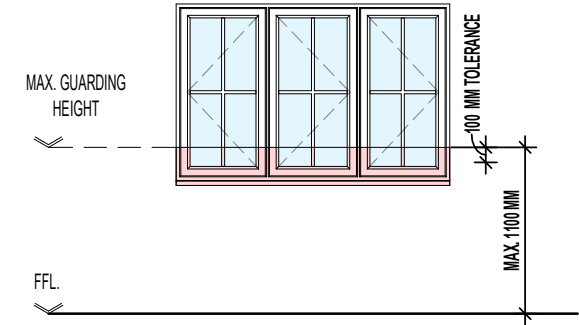
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MILLER STANDARD WINDOW SCHEDULE																	
	LOCATION	WIDTH (mm)	HEIGHT (mm)	SIDE HUNG	TOP HUNG	NON-OPENING CASEMENTS	GLAZING STYLE	GLAZING PATTERN	EGRESS WINDOW	TOUGHENED SAFETY GLASS	RESTRICTOR	GUARDING	BS PAS 24	CILL TYPE	VENTILATOR EA (mm2)	OPTIONAL	COMMENTS
W1	LOUNGE	1248	1350	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E					Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²		
W2	FAMILY	1248	1350	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E					Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²		
W3	KITCHEN / DINING	1135	1050	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E					Yes	SEE WORKING DRAWING ELEVATIONS	0 mm²		
W4	LOUNGE	1248	1350	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E					Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²		
W5	LOUNGE	1248	1350	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E					Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²		
W6	BED 1	1248	1125	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E					Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²		
W7	E/S	685	1050	Yes		N/A	SEE WORKING DRAWING ELEVATIONS	OBSCURE LOW - E		Yes	SEE WORKING DRAWING ELEVATIONS	0 mm²					
W8	BED 2	1248	1125	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E	Yes		Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²				
W9	BATH	1135	1050	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	OBSCURE LOW - E						SEE WORKING DRAWING ELEVATIONS	0 mm²		
W10	LANDING	685	1200	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E					SEE WORKING DRAWING ELEVATIONS	0 mm²			
W11	BED 3	1248	1125	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E	Yes				Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²		
W12	BED 1	1248	1125	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E	Yes				Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²		

BACKGROUND VENTILATORS -
FOR CONTINUOUS MECHANICAL EXTRACT VENTILATION SYSTEMS (dMEV)

IN ACCORDANCE WITH APPROVED DOCUMENT F1(1), DWELLINGS
INCORPORATING A CONTINUOUS MECHANICAL EXTRACT VENTILATION SYSTEM,
SHOULD ALLOW FOR BACKGROUND VENTILATORS THAT SATISFY ALL OF THE
FOLLOWING CONDITIONS: -

- a. NOT BE IN WET ROOMS;
- b. PROVIDE A MINIMUM EQUIVALENT AREA OF 4000MM² FOR EACH HABITABLE ROOM IN THE DWELLING;
- c. PROVIDE A MINIMUM TOTAL NUMBER OF VENTILATORS THAT IS THE SAME AS THE NUMBER OF BEDROOMS PLUS TWO-VENTILATORS; I.E. :-
 - 1 BED DWELLING = 3 VENTILATORS (MIN.)
 - 2 BED DWELLING = 4 VENTILATORS (MIN.)
 - 3 BED DWELLING = 5 VENTILATORS (MIN.)
 - 4 BED DWELLING = 6 VENTILATORS (MIN.)
 - 5 BED DWELLING = 7 VENTILATORS (MIN.)



WHERE FIRST FLOOR WINDOWS FORM PART OF THE OVERHEATING MITIGATION STRATEGY, ENSURE
GUARDING IS INSTALLED AS PER THE DIAGRAM ABOVE AND DESIGNED AS FOLLOWS:

- GUARDING SHOULD BE SIZED TO PREVENT THE PASSAGE OF A 100MM SPHERE.
- ANY HOLE WHICH ALLOWS THE PASSAGE OF AN 8MM DIAMETER ROD SHOULD ALSO ALLOW THE PASSAGE OF A 25MM DIAMETER ROD. SUCH HOLES SHOULD NOT TAPER IN A WAY THAT ALLOWS FINGER ENTRAPMENT.
- ANY WALL, PARAPET, BALUSTRADE, SHUTTERS WITH A CHILD-PROOF LOCK OR SIMILAR OBSTRUCTION CAN BE USED AS GUARDING.
- ENSURE THAT GUARDING CAN RESIST, AS A MINIMUM, THE LOADS GIVEN IN BS EN 1991-1-1 WITH ITS UK NATIONAL ANNEX AND PD 6688-1-1.
- WHERE GLAZING IS USED IN THE GUARDING, REFER TO SECTION 5 OF APPROVED DOCUMENT K.

MILLER STANDARD OPENABLE AREA SCHEDULE - PER PANE		
OPENING REF.	OPENING HEIGHT	OPENING WIDTH
D2	2.06	0.75
D3	1.99	0.94
W1	1.24	0.57
W2	1.24	0.57
W3	0.94	0.51
W4	1.24	0.57
W5	1.24	0.57
W6	1.02	0.57
W7	0.94	0.61
W8	1.02	0.57
W9	0.94	0.51
W10	1.09	0.61
W11	1.02	0.57
W12	1.02	0.57

MILLER STANDARD GLAZING AREA SCHEDULE - PER PANE		
REF.	OPENER GLAZING AREA	FIXED GLAZING AREA
D1	0.45 m²	0.45 m²
D2	0.89 m²	
D3	0.55 m²	
W1	0.47 m²	0.47 m²
W2	0.47 m²	0.47 m²
W3	0.30 m²	0.30 m²
W4	0.47 m²	0.47 m²
W5	0.47 m²	0.47 m²
W6	0.38 m²	0.38 m²
W7	0.37 m²	
W8	0.38 m²	0.38 m²
W9	0.30 m²	0.30 m²
W10	0.44 m²	
W11	0.38 m²	0.38 m²
W12	0.38 m²	0.38 m²

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

G.T.

Date

06.11.23

Drawing No.

L361701

Revision

C1

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Project Title

L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title

WINDOW SCHEDULE

MILLER STANDARD EXTERNAL AND INTERNAL DOOR SCHEDULE															
REF.	LOCATION	DOOR CONFIGURATION	STRUCTURAL OPENING		DOOR PANEL DIMENSIONS			DOOR STYLE	GLAZING REF.	SIDELIGHT REF.	FINISH	TOUGHENED SAFETY GLASS	WALL TYPE	BS PAS 24	COMMENTS
			HEIGHT	WIDTH	DOOR PANEL HEIGHT	DOOR PANEL WIDTH	DOOR PANEL THICKNESS								
D1	HALL	SINGLE EXTERNAL	2100	1023		924	44	CHECK WITH REGION	OBSCURE LOW - E	N/A	SMOOTH	Yes	CAVITY WALL	Yes	
D2	FAMILY	EXTERNAL FRENCH DOOR	2100	1585		1482	44	FRENCH DOORS	CLEAR LOW - E	N/A	P.V.C.U.	Yes	CAVITY WALL	Yes	
D3	LAUNDRY	SINGLE EXTERNAL	2100	1023		924	44	CHECK WITH REGION	OBSCURE LOW - E	N/A	SMOOTH	Yes	CAVITY WALL	Yes	
D4	FAMILY	SINGLE INTERNAL	2100	939	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	BLOCK WALL	No	
D5	LAUNDRY	SINGLE INTERNAL	2100	939	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	BLOCK WALL	No	
D6	ST.	SINGLE INTERNAL	1750	747	1701	686	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	REDUCED HEIGHT DOOR
D7	W.C.	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D8	LOUNGE	SINGLE INTERNAL	2100	939	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	BLOCK WALL	No	
D9	BED 2	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D10	ST.	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D11	BATH	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D12	ST.	SINGLE INTERNAL	2030	671	1981	610	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D13	BED 3	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D14	BED 1	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	
D15	E/S	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No	

NOTE: WHERE ASHP PROVISION REQUIRED, ADDITIONAL 762MM DOOR TO BE INSTALLED SERVING CYLINDER CUPBOARD IN ACCORDANCE WITH ASHP FLOOR PLAN.

Project Title

L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

Drawing Title

DOOR SCHEDULE

Revision Note:

ADDITIONAL ASHP CYLINDER CUPBOARD NOTE ADDED.

Scale

1 : 50

Drawn By

G.T.

Date

06.11.23

Drawing No.

L361702

Revision

C2

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

MILLER STANDARD LINTEL SCHEDULE - DOORS				
REF.	LOCATION	STRUCTURAL OPENING WIDTH	WALL TYPE	COMMENTS
D1	HALL	1023	CAVITY WALL	
D2	FAMILY	1585	CAVITY WALL	
D3	LAUNDRY	1023	CAVITY WALL	
D4	FAMILY	939	BLOCK WALL	
D5	LAUNDRY	939	BLOCK WALL	
D8	LOUNGE	939	BLOCK WALL	

MILLER STANDARD LINTEL SCHEDULE - WINDOWS				
REF.	LOCATION	STRUCTURAL OPENING WIDTH	COMMENTS	
W1	LOUNGE	1248		
W2	FAMILY	1248		
W3	KITCHEN / DINING	1135		
W4	LOUNGE	1248		
W5	LOUNGE	1248		
W6	BED 1	1248		
W7	E/S	685		
W8	BED 2	1248		
W9	BATH	1135		
W10	LANDING	685		
W11	BED 3	1248		
W12	BED 1	1248		

Project Title

L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title

LINTEL SCHEDULE

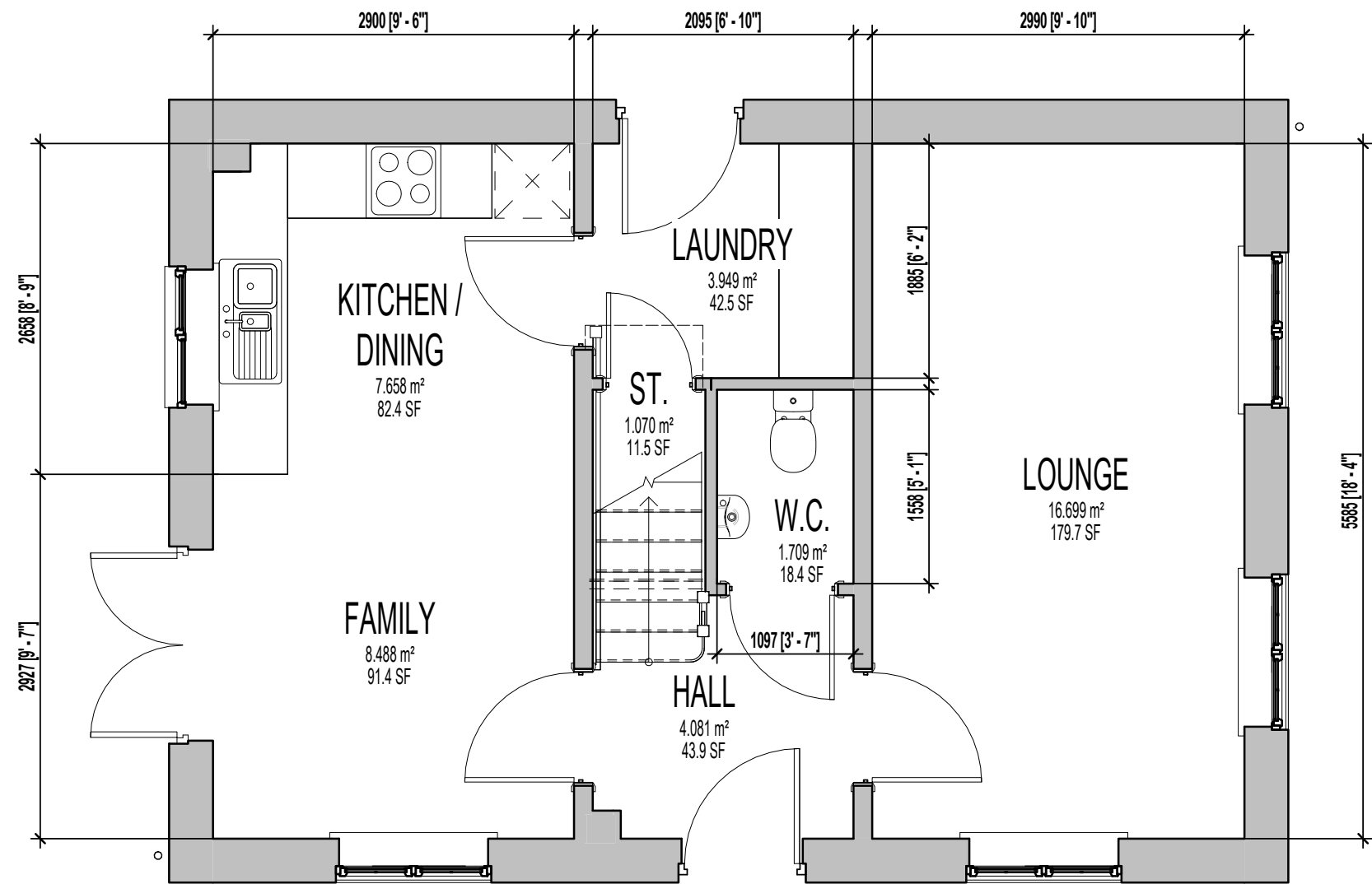
Revision Note:

CONSTRUCTION ISSUE

Scale	Drawn By	Date
N/A	G.T.	06.11.23
Drawing No.	Revision	
L361703	C1	


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MILLER STANDARD ROOM SIZE SCHEDULE ASHP LAYOUT								
ROOM NAME	FLOOR	METRIC				IMPERIAL		
		WIDTH		DEPTH		WIDTH		DEPTH
LOUNGE	GROUND FLOOR	2990		X	5585	9' - 10"	X	18' - 4"
KITCHEN / DINING	GROUND FLOOR	2900		X	2658	9' - 6"	X	8' - 9"
LAUNDRY	GROUND FLOOR	2095		X	1885	6' - 10"	X	6' - 2"
FAMILY	GROUND FLOOR	2900		X	2927	9' - 6"	X	9' - 7"
W.C.	GROUND FLOOR	1097		X	1558	3' - 7"	X	5' - 1"
BED 1	FIRST FLOOR	3015		X	2772	9' - 11"	X	9' - 1"
E/S	FIRST FLOOR	2115		X	1242	6' - 11"	X	4' - 1"
BED 3	FIRST FLOOR	3190	MAX.	X	2720	10' - 6"	X	8' - 11"
BATH	FIRST FLOOR	1700		X	2206	5' - 7"	X	7' - 3"
BED 2	FIRST FLOOR	2957		X	2393	9' - 8"	X	7' - 10"



GROUND FLOOR PLAN

Revision Note:

CONSTRUCTION ISSUE

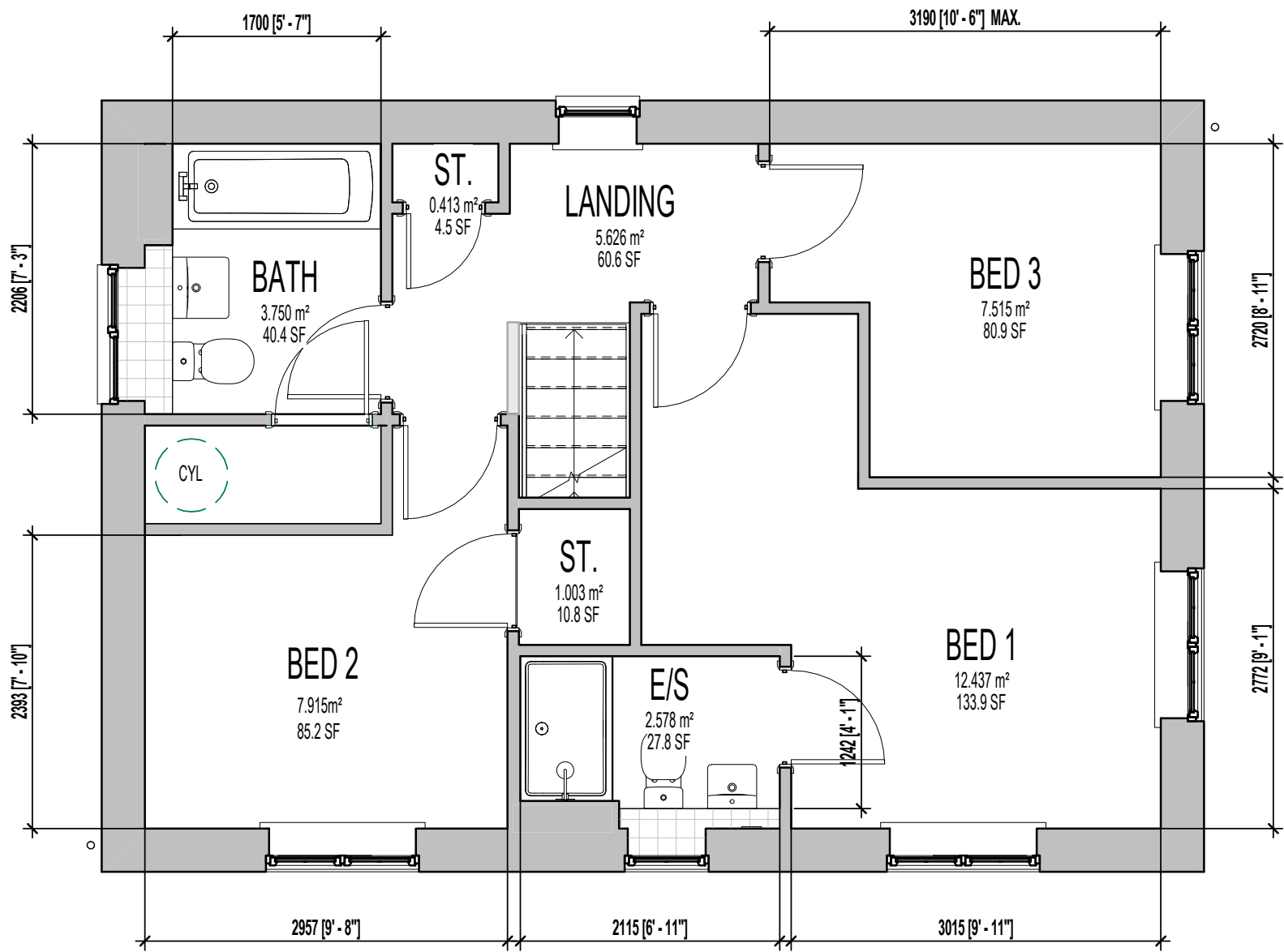
Project Title
L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP G.F. SALES BROCHURE PLAN

Scale	Drawn By	Date
1 : 50	G.T.	26.01.24
Drawing No.	Revision	
L361911	C1	

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MILLER STANDARD ROOM SIZE SCHEDULE ASHP LAYOUT								
ROOM NAME	FLOOR	METRIC				IMPERIAL		
		WIDTH		DEPTH		WIDTH		DEPTH
LOUNGE	GROUND FLOOR	2990		X	5585	9' - 10"	X	18' - 4"
KITCHEN / DINING	GROUND FLOOR	2900		X	2658	9' - 6"	X	8' - 9"
LAUNDRY	GROUND FLOOR	2095		X	1885	6' - 10"	X	6' - 2"
FAMILY	GROUND FLOOR	2900		X	2927	9' - 6"	X	9' - 7"
W.C.	GROUND FLOOR	1097		X	1558	3' - 7"	X	5' - 1"
BED 1	FIRST FLOOR	3015		X	2772	9' - 11"	X	9' - 1"
E/S	FIRST FLOOR	2074		X	1348	6' - 10"	X	4' - 5"
BED 3	FIRST FLOOR	3190	MAX.	X	2720	10' - 6"	X	8' - 11"
BATH	FIRST FLOOR	1700		X	2100	5' - 7"	X	6' - 11"
BED 2	FIRST FLOOR	2957		X	2393	9' - 8"	X	7' - 10"



FIRST FLOOR PLAN.

Revision Note:
FF STAIR BALUSTRADE OMITTED & ½ HEIGHT PARTITION DENOTED IN LIEU

Project Title
L361 - 3B / 5P / 996 - BRAXTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP F.F. SALES BROCHURE PLAN

Scale	Drawn By	Date
1 : 50	G.T.	26.01.24
Drawing No.	Revision	
L361912	C2	

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