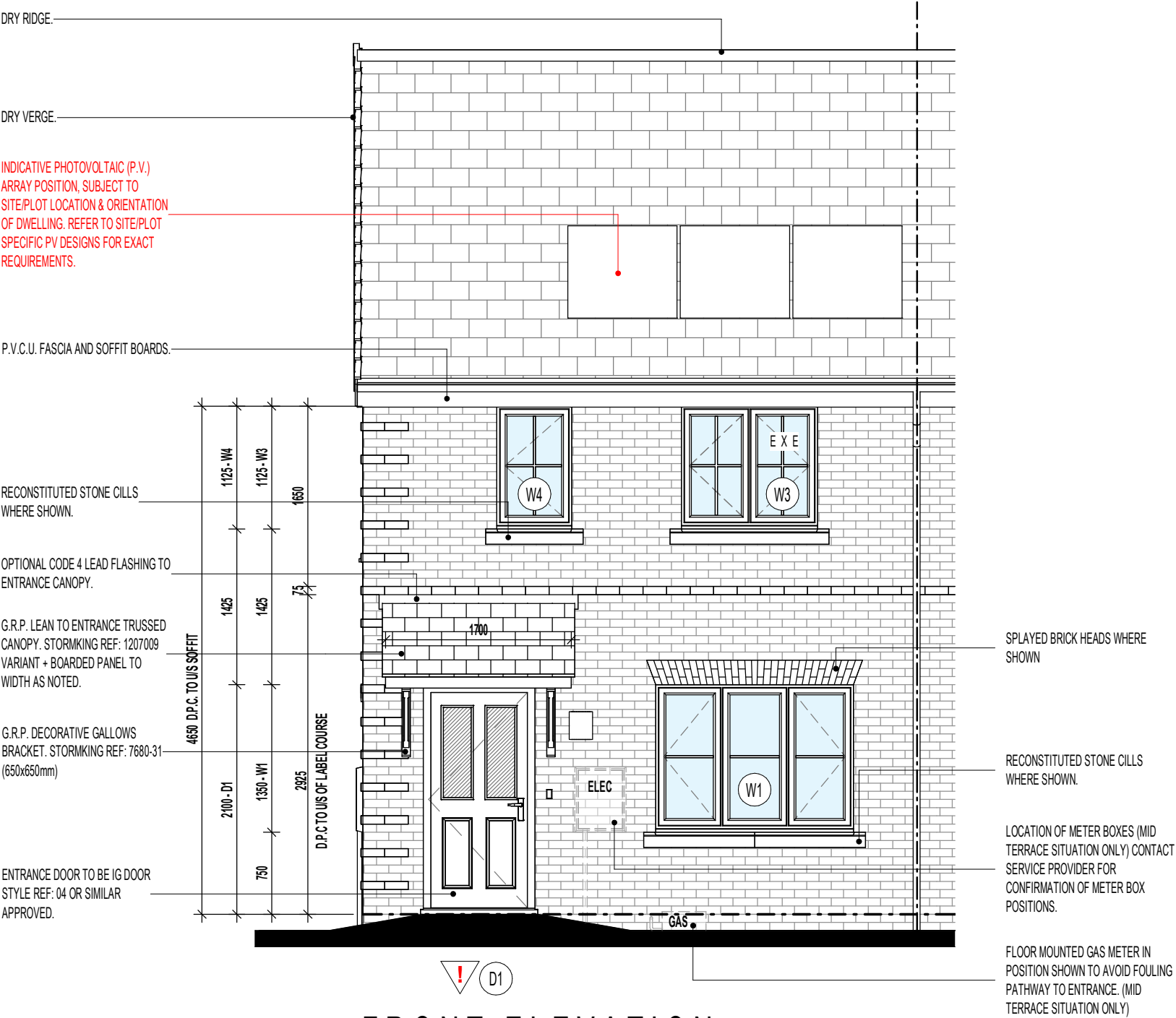


RAINWATER DOWNPIPE PROVISION - GENERAL NOTE:
WHERE DWELLING IS PLOTTED AS A MID-TERRACED OPTION,
DOWNPIPE PROVISION TO BE RE-EVALUATED TO REFLECT
THE EXTENT OF ADDITIONAL RAINWATER GUTTER REQUIRED.

WINDOW KEY

- ! DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.
- EXE DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST 450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS.



EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIRMENTS).

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

Drawing Title
FRONT ELEVATION
GREEN EDGE OPTION

Revision Note: CONSTRUCTION ISSUE		
Scale 1 : 50	Drawn By S.M.	Date 07.03.24
Drawing No. L356GE401		Revision C1

mill

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2 Centro Place, Pride Park
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www.millerhomes.co.uk

RAINWATER DOWNPIPE PROVISION - GENERAL NOTE:
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THE EXTENT OF ADDITIONAL RAINWATER GUTTER REQUIRED.

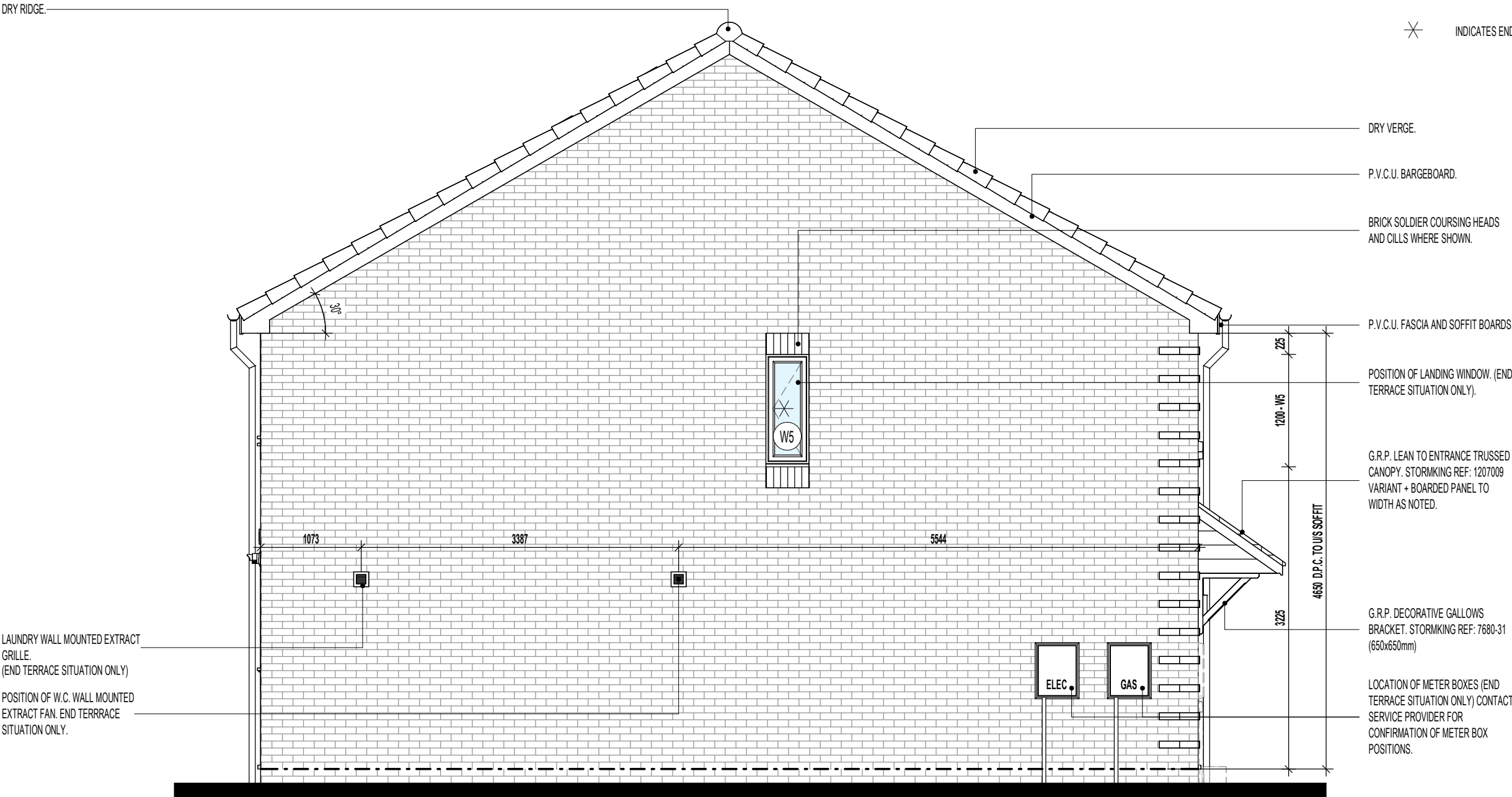
WINDOW KEY

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PART B1 OF THE BUILDING REGULATIONS.
- 

INDICATES END TERRACE WINDOW OPTION.



L.H. SIDE ELEVATION.

EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIRMENTS).

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

Drawing Title
L.H. SIDE ELEVATION
GREEN EDGE OPTION

Revision Note:
CONSTRUCTION ISSUE

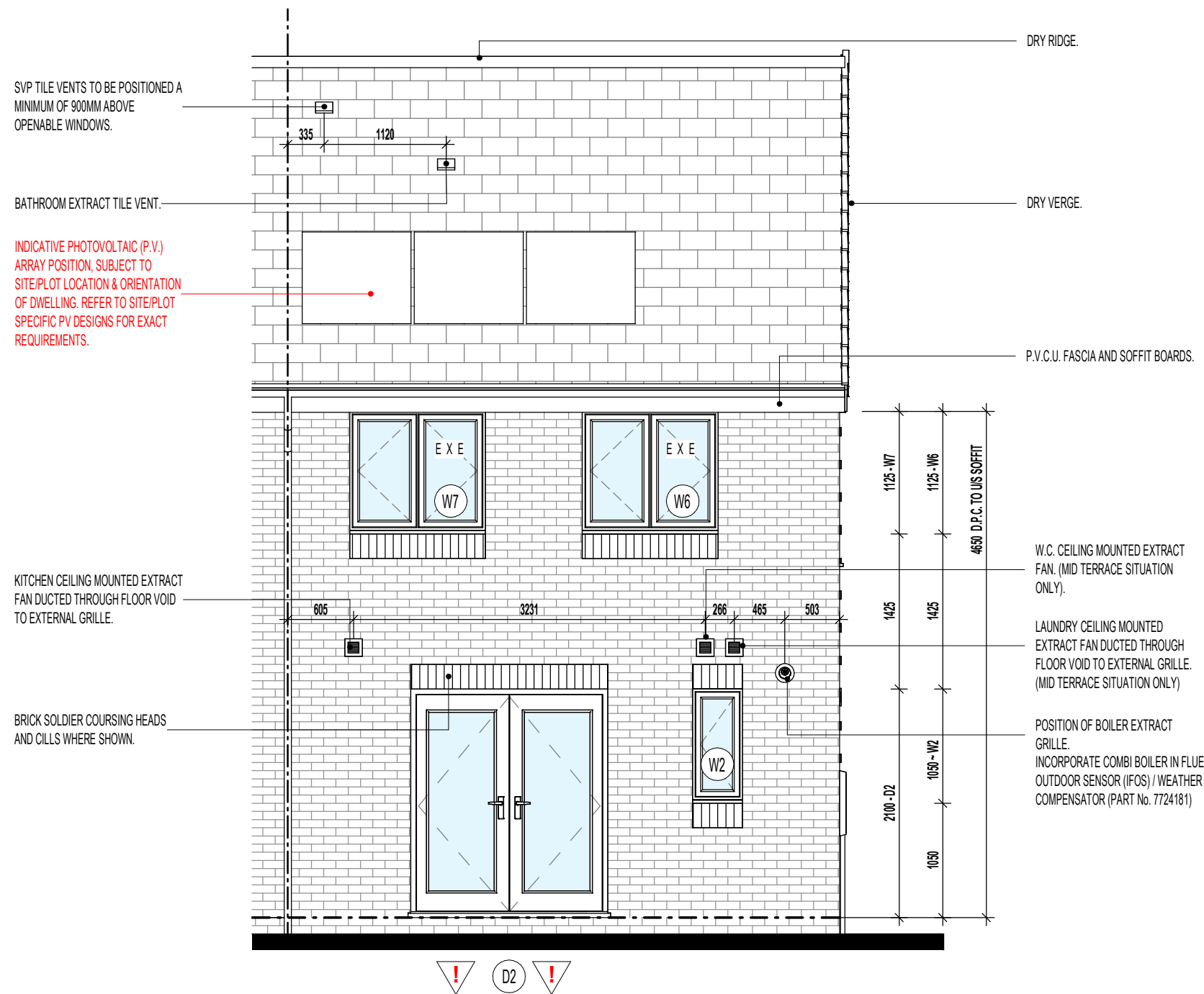
Scale	Drawn By	Date
1 : 50	S.M.	07.03.24
Drawing No.		Revision
L356GE402		C1

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REAR ELEVATION.

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Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

Drawing Title
REAR ELEVATION
GREEN EDGE OPTION

Revision Note:
CONSTRUCTION ISSUE

Scale
1 : 50

Drawn By
S.M.

Date
07.03.24

Drawing No.
L356GE403

Revision
C1

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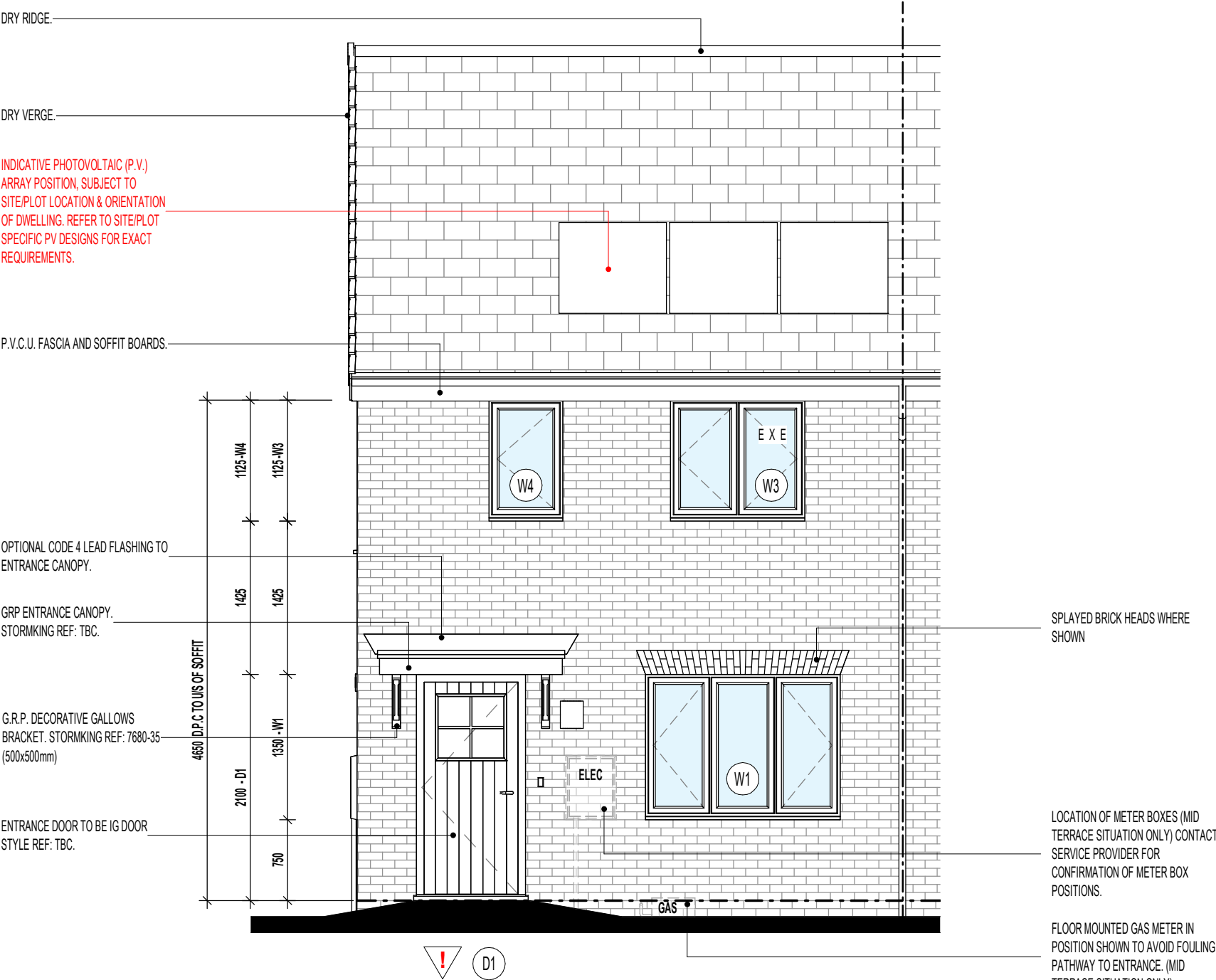
RAINWATER DOWNPIPE PROVISION - GENERAL NOTE:
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FRONT ELEVATION.

EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIRMENTS).

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

Drawing Title
FRONT ELEVATION
NEIGHBOURHOOD OPTION

Revision Note:
CONSTRUCTION ISSUE

Scale	Drawn By	Date
1 : 50	S.M.	07.03.24
Drawing No.		Revision
L356N401		C1

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THE EXTENT OF ADDITIONAL RAINWATER GUTTER REQUIRED.

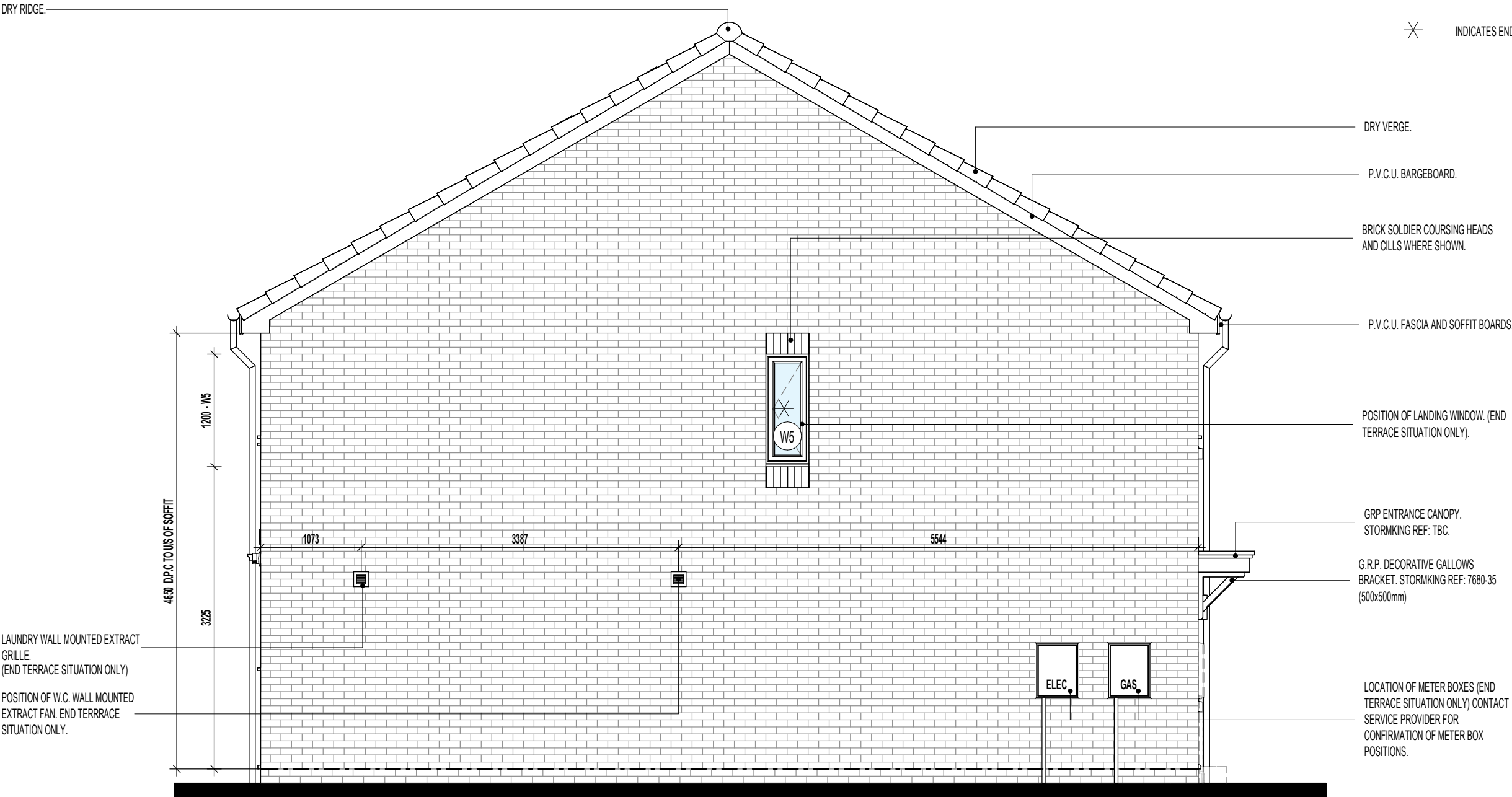
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- 

INDICATES END TERRACE WINDOW OPTION.



L.H. SIDE ELEVATION.

EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIRMENTS).

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

Drawing Title
L.H. SIDE ELEVATION
NEIGHBOURHOOD OPTION

Revision Note:
CONSTRUCTION ISSUE

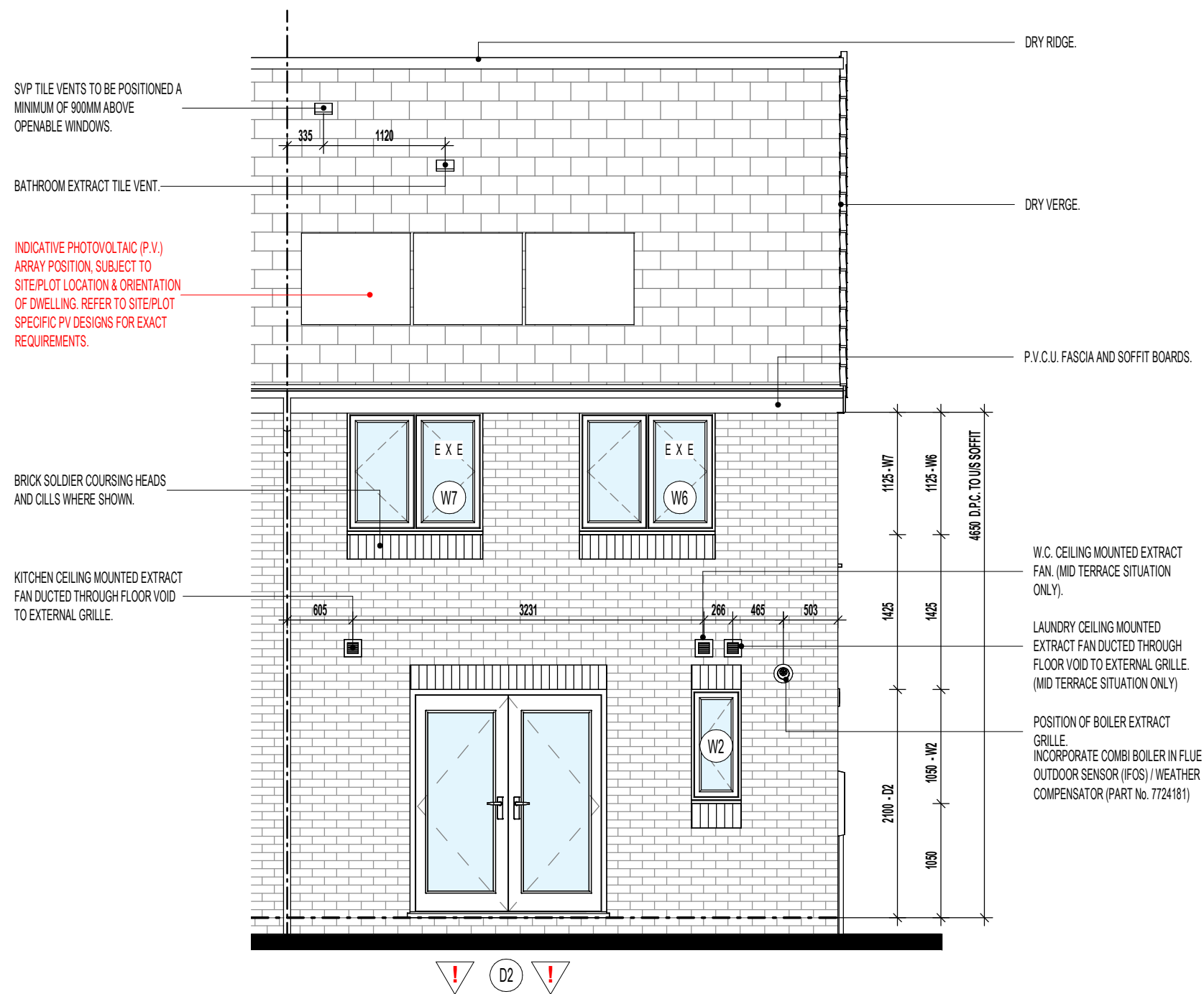
Scale	Drawn By	Date
1 : 50	S.M.	07.03.24
Drawing No.		Revision
L356N402		C1

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Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

Drawing Title
REAR ELEVATION
NEIGHBOURHOOD OPTION

Revision Note:
CONSTRUCTION ISSUE

Scale
1 : 50

Drawn By
S.M.

Date
07.03.24

Drawing No.
L356N403

Revision
C1

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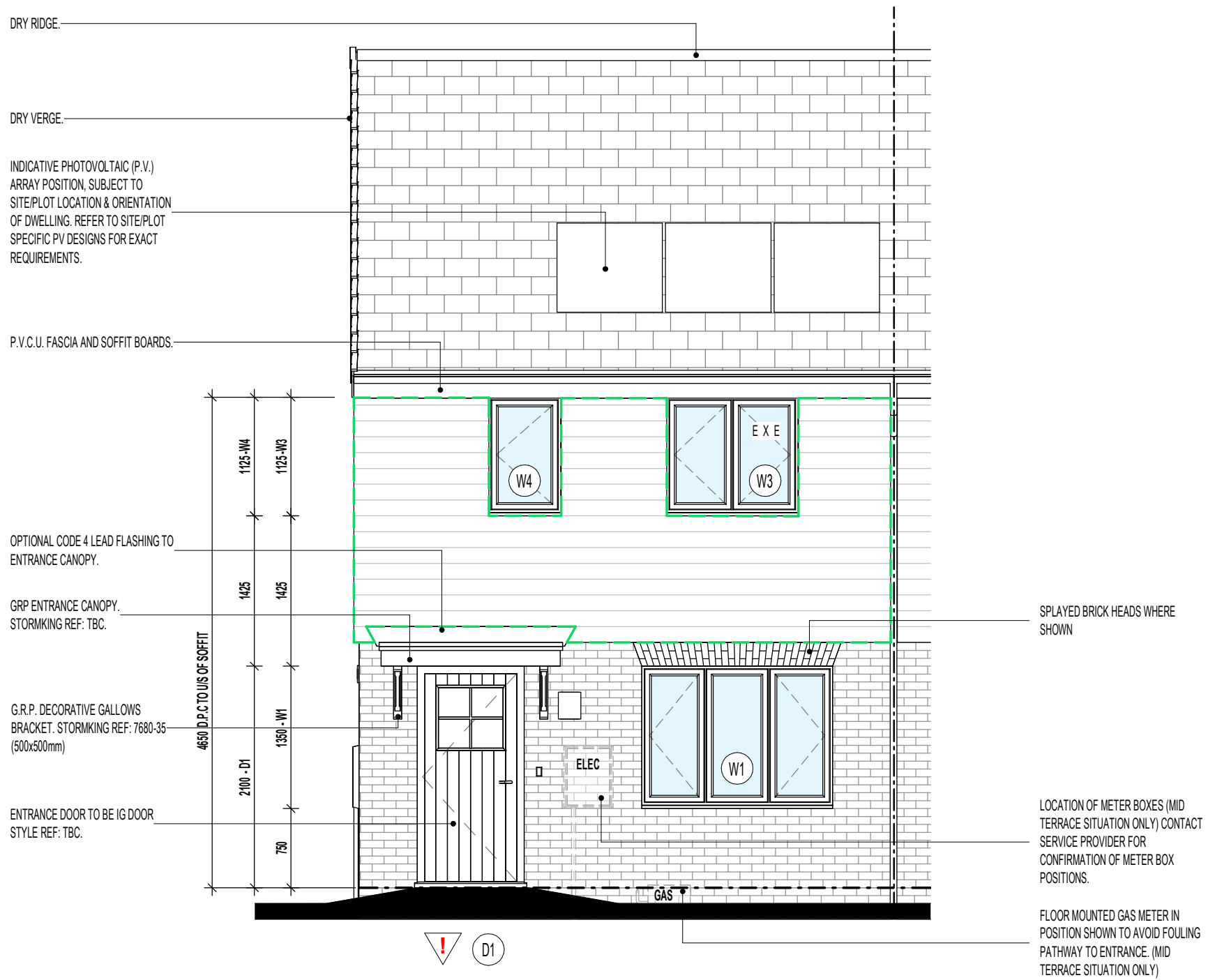
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PART B1 OF THE BUILDING REGULATIONS.

TENMAT FF 102/50 CAVITY BARRIER OR SIMILAR APPROVED BY NHBC.



FRONT ELEVATION.

EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIRMENTS).

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

Drawing Title
FRONT ELEVATION
NEIGHBOURHOOD EDGE OPTION

Revision Note:
CONSTRUCTION ISSUE

Scale
1 : 50

Drawn By
M.T.

Date
07.03.24

Drawing No.
L356NE401

Revision
C1

mill

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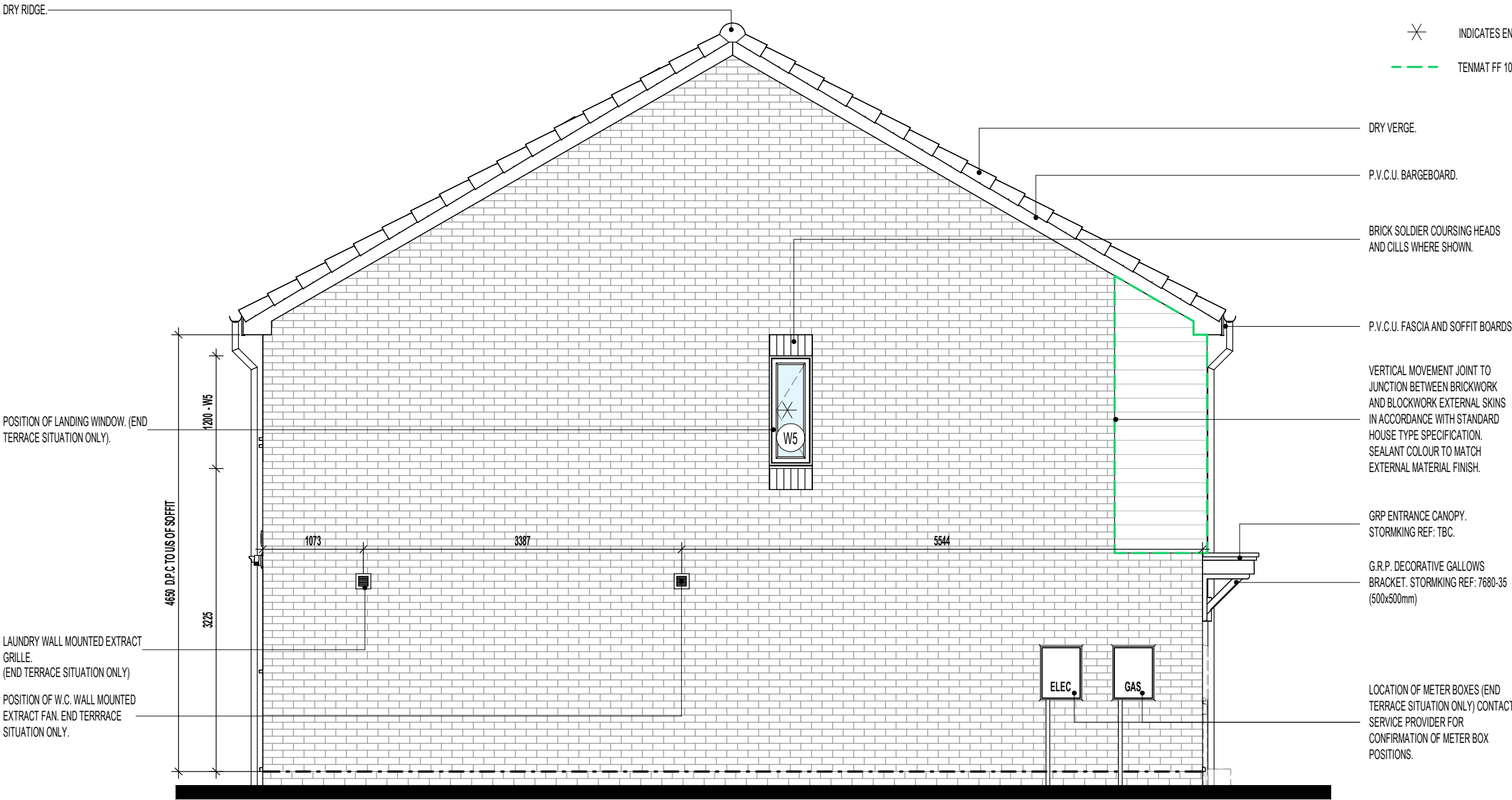
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L.H. SIDE ELEVATION.

EXTENT OF PHOTOVOLTAIC (P.V.) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPARATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIRMENTS).

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

Drawing Title
L.H. SIDE ELEVATION
NEIGHBOURHOOD EDGE OPTION

Revision Note:
CONSTRUCTION ISSUE

Scale	Drawn By	Date
1 : 50	M.T.	07.03.24
Drawing No.		Revision
L356NE402		C1

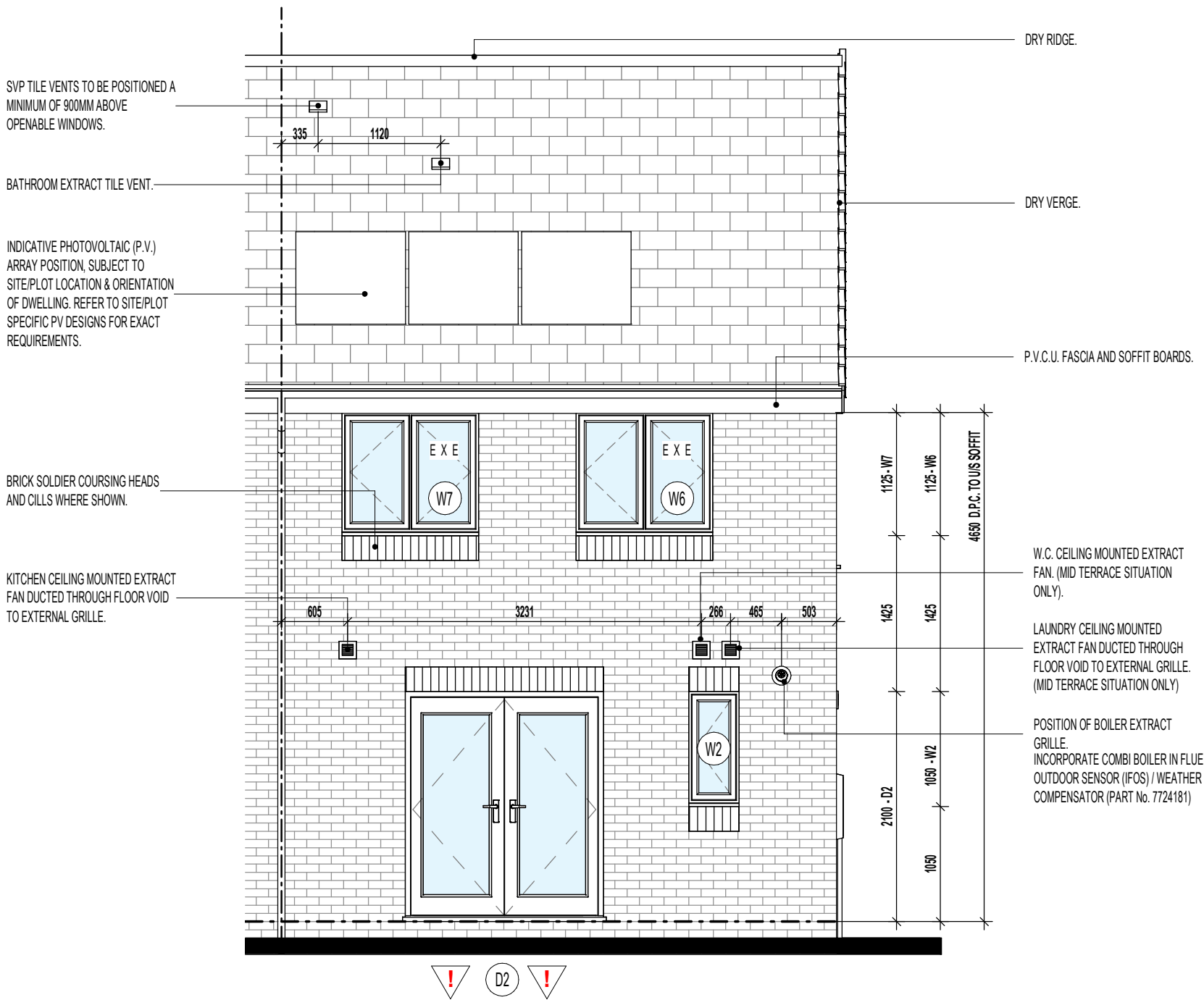
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Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

Drawing Title
REAR ELEVATION
NEIGHBOURHOOD EDGE OPTION

Revision Note:
CONSTRUCTION ISSUE

Scale
1 : 50

Drawn By
M.T.

Date
07.03.24

Drawing No.
L356NE403

Revision
C1

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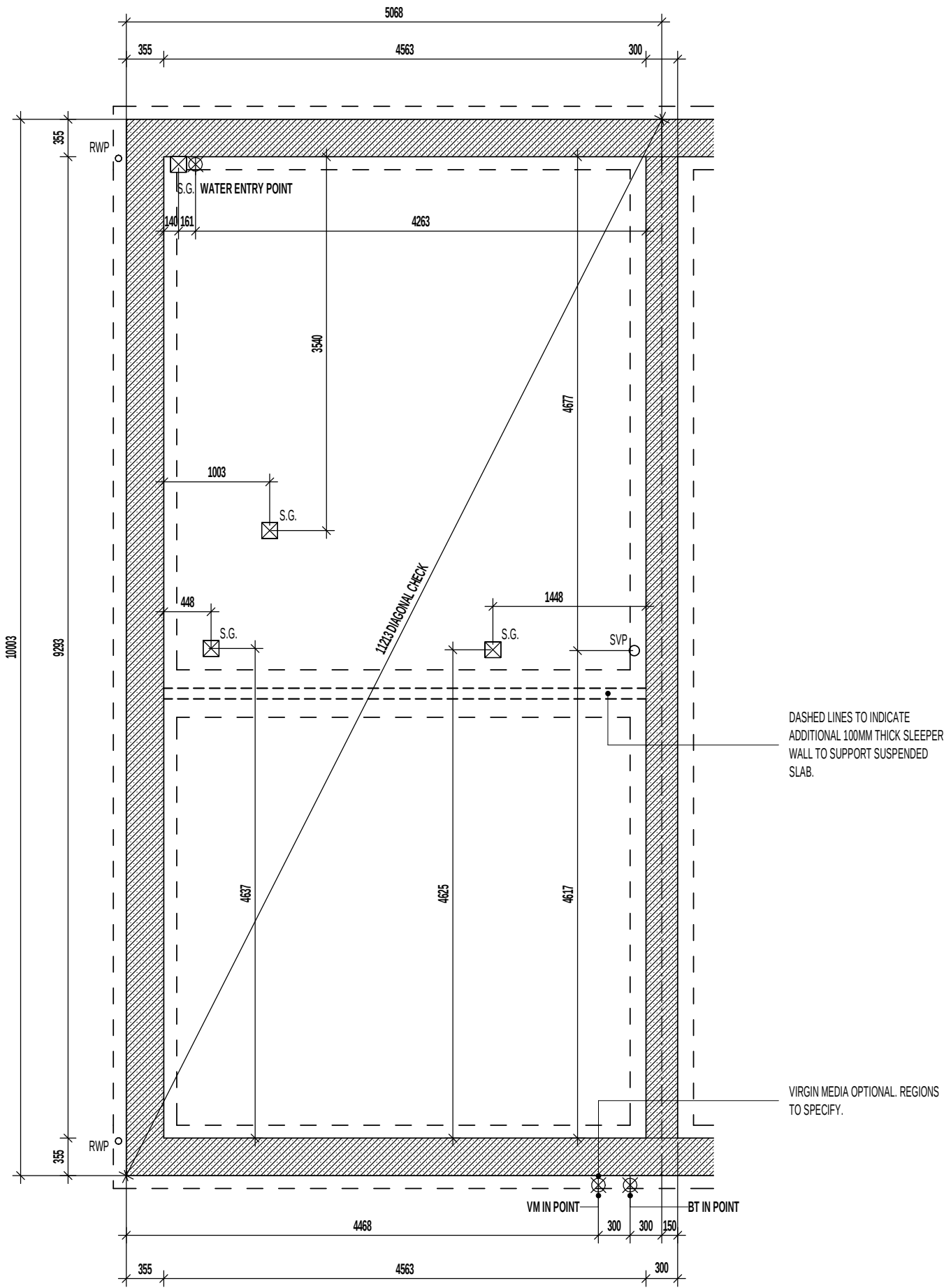
WALL LEGEND.

DENOTES 300MM THICK 3.6N/MM² FOUNDATION BLOCKWORK

DENOTES 355MM THICK 3.6N/MM² FOUNDATION BLOCKWORK

DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.



TRENCH BLOCK FOUNDATION PLAN

Project Title
L356 - 3B / 5P / 907 - DENTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP TRENCH BLOCK FOUNDATION PLAN

Revision Note:
GF W/C DRAINAGE POP-UP LOCATION AMENDED

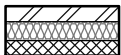
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1 : 50	G.T.	10.01.24
Drawing No.	Revision	
L356105	C2	

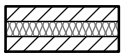
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WALL LEGEND.

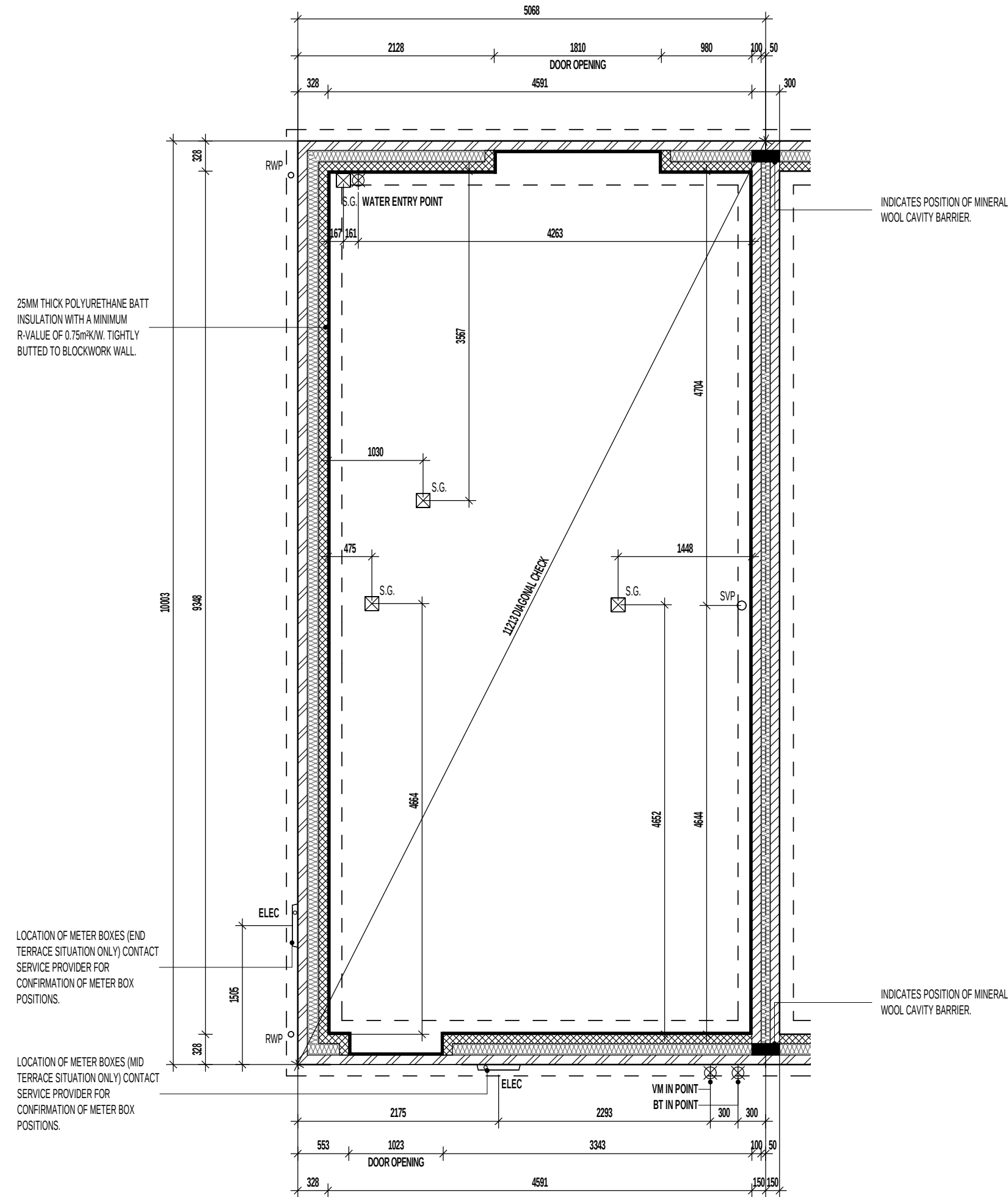
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DENOTES 328MM THICK CAVITY WALL :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
- 

DENOTES 300MM THICK PARTY WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE CONCRETE BLOCKWORK
- 100MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE CONCRETE BLOCKWORK

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REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:
REFER TO DIMENSIONED G.F. PLANS FOR EXTERNAL & INTERNAL DOOR
LOCATIONS AND CROSS REFER TO ASSOCIATED STANDARD DETAILS FOR
DOOR THRESHOLD TREATMENT.



GROUND BEARING FOUNDATION PLAN

Project Title
L356 - 3B / 5P / 907 - DENTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP GROUND BEARING FOUNDATION PLAN

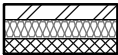
Revision Note:
GF W/C DRAINAGE POP-UP LOCATION AMENDED

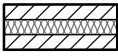
Scale	Drawn By	Date
1 : 50	G.T.	10.01.24
Drawing No.	Revision	
L356106	C2	

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WALL LEGEND.

- 

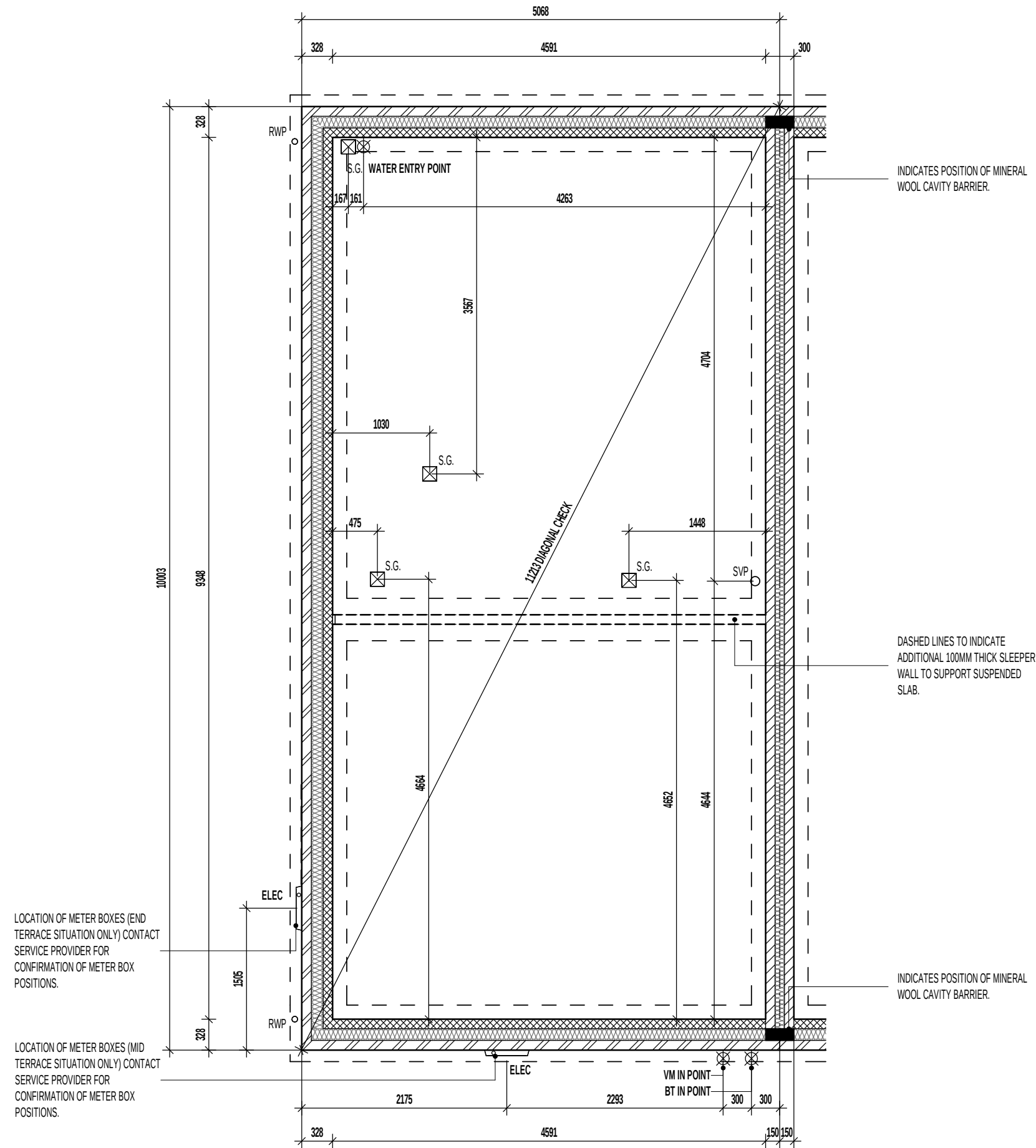
DENOTES 328MM THICK CAVITY WALL :
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DENOTES 300MM THICK PARTY WALL :
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- 100MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE CONCRETE BLOCKWORK
- 

DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:
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LOCATIONS AND CROSS REFER TO ASSOCIATED STANDARD DETAILS FOR
DOOR THRESHOLD TREATMENT.



SUSPENDED SLAB FOUNDATION PLAN

REFER TO STRUCTURAL ENGINEERS CALCULATIONS FOR SUSPENDED SLAB THICKNESS AND STEELWORK SCHEDULE.

Project Title
L356 - 3B / 5P / 907 - DENTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP SUSPENDED SLAB FOUNDATION PLAN

Revision Note:

GF W/C DRAINAGE POP-UP LOCATION AMENDED

Scale

1 : 50

Drawn By

G.T.

Date

10.01.24

Drawing No.

L356107

Revision

C2

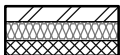
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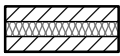
CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

RAINWATER DOWNPIPE PROVISION - GENERAL NOTE:
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THE EXTENT OF ADDITIONAL RAINWATER GUTTER REQUIRED.

WALL LEGEND.

- 

DENOTES 328MM THICK CAVITY WALL :
- 102.5MM FACING BRICKWORK
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DENOTES 300MM THICK PARTY WALL :
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BEAM & BLOCK / EPS UNDERFLOOR VOID VENTILATION

VENTILATION SHOULD BE PROVIDED TO PRECAST SUSPENDED FLOORS IN
ACCORDANCE WITH CHAPTER 5.2.10 OF LATEST NHBC TECHNICAL STANDARDS .
(GENERALLY PROVIDED BY VENTILATORS ON AT LEAST TWO OPPOSITE
EXTERNAL WALLS.

WHERE SLEEPER WALLS / PARTITIONS PROVIDED, THESE SHOULD BE
CONSTRUCTED WITH SUFFICIENT OPENINGS TO ENSURE ADEQUATE THROUGH
VENTILATION.

VOID VENTILATION SHOULD BE PROVIDED TO WHICHEVER GIVES THE GREATER
OPENING AREA:

- 1500MM² PER METRE RUN OF EXTERNAL WALL
- 500MM² PER M² OF FLOOR AREA.

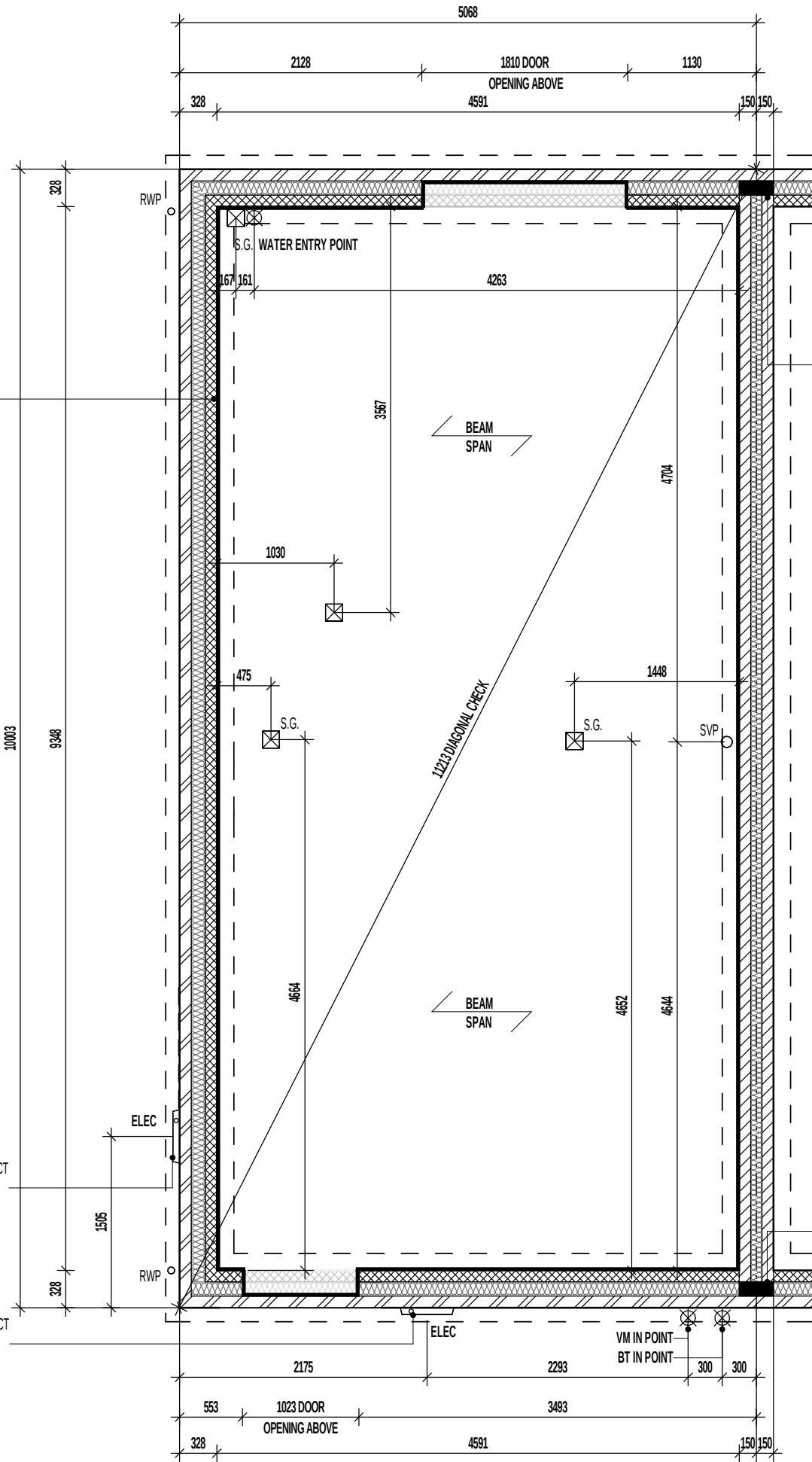
INDICATES POSITION OF MINERAL
WOOL CAVITY BARRIER.

INDICATES POSITION OF MINERAL
WOOL CAVITY BARRIER.

25MM THICK POLYURETHANE BATT
INSULATION WITH A MINIMUM
R-VALUE OF 0.75m²K/W. TIGHTLY
BUTTED TO BLOCKWORK WALL.

LOCATION OF METER BOXES (END
TERRACE SITUATION ONLY) CONTACT
SERVICE PROVIDER FOR
CONFIRMATION OF METER BOX
POSITIONS.

LOCATION OF METER BOXES (MID
TERRACE SITUATION ONLY) CONTACT
SERVICE PROVIDER FOR
CONFIRMATION OF METER BOX
POSITIONS.



BEAM AND EPS FOUNDATION PLAN

REFER TO MANUFACTURERS DRAWINGS FOR FURTHER INFORMATION.

Project Title
L356 - 3B / 5P / 907 - DENTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP BEAM AND EPS FOUNDATION PLAN

Revision Note:

GF W/C DRAINAGE POP-UP LOCATION AMENDED

Scale

1 : 50

Drawn By

G.T.

Date

10.01.24

Drawing No.

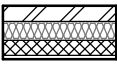
L356108

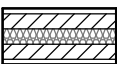
Revision

C2

millerhomes
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WALL LEGEND.

- 

DENOTES 353MM THICK CAVITY WALL :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
- 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH
- 

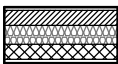
DENOTES 350MM THICK PARTY WALL :
- 12.5MM GYPROC WALLBOARD DRYLINING ON 10MM DABS WITH NOMINAL SKIM
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE CONCRETE BLOCKWORK
- 100MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE CONCRETE BLOCKWORK
- 12.5MM GYPROC WALLBOARD DRYLINING ON 10MM DABS WITH NOMINAL SKIM FINISH
- 

DENOTES 93MM THICK NON LOAD BEARING PARTITION WALL :
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
- 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.

- 

DENOTES 105MM THICK STRUCTURAL RACKING WALL :
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- 12MM PLYWOOD SHEATHING TO W.C. SIDE ONLY
- 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
- 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.
- NOTE: END STUDS FIXED TO BLOCKWORK WITH RESIN ANCHORS @MAX 450MM VERTICAL CENTRES.

ELEVATIONAL TREATMENT-

- 

370MM THICK BLOCKWORK CAVITY WALL CONSTRUCTION:
SEE ELEVATIONS FOR EXTERNAL WALL FINISH & LOCATIONS
- **EXTERNAL WALL FINISHES:** 20MM WEBER MONOCOUCHE RENDER APPLIED TO SUBSTRATE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK.
- 125MM WIDE INSULATED CAVITY.
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK.
- 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH.
- VERTICAL MOVEMENT JOINT TO BE INSTALLED AT JUNCTIONS BETWEEN BRICKWORK AND BLOCKWORK EXTERNAL SKIN. REFER TO ELEVATIONS FOR LOCATIONS.

RAINWATER DOWNPIPE PROVISION - GENERAL NOTE:
WHERE DWELLING IS PLOTTED AS A MID-TERRACED OPTION, DOWNPIPE PROVISION TO BE RE-EVALUATED TO REFLECT THE EXTENT OF ADDITIONAL RAINWATER GUTTER REQUIRED.

CEILING MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN TO BE DUCTED THROUGH FLOOR VOID TO EXTERNAL GRILLE. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA INDEPENDENT BOOST SWITCH. (MID TERRACE SITUATION ONLY)

POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA INDEPENDENT BOOST SWITCH. (END TERRACE SITUATION ONLY)

POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH.

CEILING MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN TO BE DUCTED THROUGH FLOOR VOID TO EXTERNAL GRILLE. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA ROOM LIGHT SWITCH. (MID TERRACE SITUATION ONLY)

TIMBER RACKING WALL AS PER STRUCTURAL ENGINEERS DETAILS.

FOR NON LOAD BEARING STUD PARTITIONS REFER TO REGIONAL OFFICE FOR SITE CONSTRUCTION SPECIFICATION. PLEASE NOTE THIS DRAWING INDICATES 63MM TIMBER STUD PARTITION. INTERNAL ROOM DIMENSIONS MAY VARY DEPENDING UPON STUD PARTITION SPECIFICATION.

LOCATION OF METER BOXES (END TERRACE SITUATION ONLY) CONTACT SERVICE PROVIDER FOR CONFIRMATION OF METER BOX POSITIONS.

INTERNAL THRESHOLD STRIP TO FRONT ENTRANCE TO BE MAX. 15MM IN HEIGHT WITH CHAMFERED EDGES.

INDICATES POSITION OF MINERAL WOOL CAVITY BARRIER.

BOXING TO BE INSTALLED TO ENCLOSE ASHP FLOW AND RETURN INSULATED PIPEWORK. SEE SEPARATE STANDARD DETAIL XXXX

CEILING MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN TO BE DUCTED THROUGH FLOOR VOID TO EXTERNAL GRILLE. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA INDEPENDENT BOOST SWITCH.

RE-CIRCULATION COOKER HOOD EXTRACT TO BE INSTALLED OVER HOB.

FULL HEIGHT SVP BOXING. SVP WRAPPED WITH MIN. 25MM MINERAL FIBRE INSULATION & BOARDED WITH 2 No. LAYERS OF 12.5MM GYPROC WALLBOARD.

TIMBER STUD PARTITIONS TO COMPRISE OF 63MM GYPWALL TIMBER STUD WITH 12.5MM GYPROC WALLBOARD PLASTERBOARD EITHER SIDE WITH A NOMINAL SKIM FINISH. WHERE INDICATED CAVITY TO BE FILLED WITH 65MM GYPROC ISOVER 1200 OR KNAUF ACOUSTIC ROLL APPLYING CONTINUOUS BEADS OF GYPROC SEALANT AT HEADS, SOLES, ABUTMENTS AND PERIMETER SEALANT TO DOOR SETS TO MAINTAIN ACOUSTIC PERFORMANCE. OVERALL THICKNESS OF THE PARTITION SHOULD SUIT A 100MM WIDE DOOR LINING. FIXINGS TO BE IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS.

PARTY WALL TO BE FULLY FILLED AND SEALED EDGES TO ENSURE A 'U' VALUE OF 0.00W/m²K.

INDICATES POSITION OF MINERAL WOOL CAVITY BARRIER.

LOCATION OF METER BOXES (MID TERRACE SITUATION ONLY) CONTACT SERVICE PROVIDER FOR CONFIRMATION OF METER BOX POSITIONS.

GROUND FLOOR PLAN

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION**

Drawing Title
ASHP GROUND FLOOR PLAN

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

Revision Note:
CONSTRUCTION ISSUE

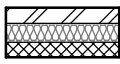
Scale	Drawn By	Date
1 : 50	G.T.	10.01.24
Drawing No.		Revision
L356211		C1

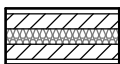


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www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

WALL LEGEND.

- 

DENOTES 353MM THICK CAVITY WALL :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
- 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH
- 

DENOTES 350MM THICK PARTY WALL :
- 12.5MM GYPROC WALLBOARD DRYLINING ON 10MM DABS WITH NOMINAL SKIM
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE CONCRETE BLOCKWORK
- 100MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE CONCRETE BLOCKWORK
- 12.5MM GYPROC WALLBOARD DRYLINING ON 10MM DABS WITH NOMINAL SKIM FINISH
- 

DENOTES 93MM THICK NON LOAD BEARING PARTITION WALL :
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
- 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.

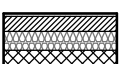
RAINWATER DOWNPIPE PROVISION - GENERAL NOTE:
WHERE DWELLING IS PLOTTED AS A MID-TERRACED OPTION,
DOWNPIPE PROVISION TO BE RE-EVALUATED TO REFLECT
THE EXTENT OF ADDITIONAL RAINWATER GUTTER REQUIRED.

- 

DENOTES 105MM THICK STRUCTURAL RACKING WALL :
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- 12MM PLYWOOD SHEATHING TO STORE & BED 2 SIDES ONLY
- 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
- 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.
- NOTE: END STUDS FIXED TO BLOCKWORK WITH RESIN ANCHORS @MAX 450MM VERTICAL CENTRES.
- NOTE:
RACKING WALL 'A' ONLY REQUIRED WHEN END TERRACED & PLOTTED AS SHOWN. WHERE LAYOUT IS
MIRRORED (i.e. BATHROOM ON EXTERNAL WALL), ALLOW FOR EXTENT OF RACKING WALL 'B' ONLY.

G. GUARDING TO BE PROVIDED AT 1100MM FROM FFL.
NOTE: GUARDING MAY BE OMITTED IF BUILD TOLERANCE
TO WINDOW OPENING IS WITHIN A RANGE OF MAXIMUM
1100MM AND MINIMUM 1000MM.

ELEVATIONAL TREATMENT -

- 

370MM THICK BLOCKWORK CAVITY WALL CONSTRUCTION:
SEE ELEVATIONS FOR EXTERNAL WALL FINISH & LOCATIONS
- EXTERNAL WALL FINISHES: 20MM WEBER MONOCOUCHE
RENDER APPLIED TO SUBSTRATE IN ACCORDANCE WITH
MANUFACTURER'S SPECIFICATION.
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK.
- 125MM WIDE INSULATED CAVITY.
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK.
- 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH.
- VERTICAL MOVEMENT JOINT TO BE INSTALLED AT JUNCTIONS
BETWEEN BRICKWORK AND BLOCKWORK EXTERNAL SKIN.
REFER TO ELEVATIONS FOR LOCATIONS.

LINTELS SUPPORTING GIRDER TRUSSES:
STANDARD LINTEL SCHEDULES DESIGNED TO 'AS' ROOF
CONFIGURATION. REGIONS TO OBTAIN ALTERNATIVE LINTEL
SCHEDULES SHOULD ANY DEVIATION FROM THIS ROOF
DESIGN BE APPLICABLE. (I.E. MID/OPP HANDING)

- INDICATES POSITION OF MINERAL
WOOL CAVITY BARRIER.
- PARTY WALL TO BE FULLY FILLED
AND SEALED EDGES TO ENSURE A 'U'
VALUE OF 0.00W/m²K.
- CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH ROOF
VOID TO TILE VENT. EXTRACT FAN
BOOST FUNCTION TO BE TURNED
ON/OFF VIA ROOM LIGHT SWITCH.
- RACKING WALL 'B' (END TERRACE SITUATION ONLY)
TIMBER RACKING WALL AS PER
STRUCTURAL ENGINEERS DETAILS.
- FULL HEIGHT SVP BOXING.
SVP WRAPPED WITH MIN. 25MM
MINERAL FIBRE INSULATION &
BOARDED WITH 2 No. LAYERS OF
12.5MM GYPROC WALLBOARD.
- W/C & WHB DRAINAGE TO BE TAKEN
ABOVE FLOOR LEVEL WITHIN BOXING.
- POSITION OF BATHROOM WINDOW
(END TERRACE SITUATION ONLY).
- TIMBER STUD PARTITIONS TO
COMPRISE OF 63MM GYPWALL
TIMBER STUD WITH 12.5MM GYPROC
WALLBOARD PLASTERBOARD EITHER
SIDE WITH A NOMINAL SKIM FINISH.
WHERE INDICATED CAVITY TO BE
FILLED WITH 65MM GYPROC ISOVER
1200 OR KNAUF ACOUSTIC ROLL
APPLYING CONTINUOUS BEADS OF
GYPROC SEALANT AT HEADS, SOLES,
ABUTMENTS AND PERIMETER
SEALANT TO DOOR SETS TO
MAINTAIN ACOUSTIC PERFORMANCE.
OVERALL THICKNESS OF THE
PARTITION SHOULD SUIT A 100MM
WIDE DOOR LINING. FIXINGS TO BE IN
STRICT ACCORDANCE WITH
MANUFACTURERS DETAILS.
- INDICATES POSITION OF MINERAL
WOOL CAVITY BARRIER.
- ✕ INDICATES END TERRACE WINDOW OPTION.

FIRST FLOOR PLAN

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP FIRST FLOOR PLAN

Revision Note:
CONSTRUCTION ISSUE

Scale	Drawn By	Date
1 : 50	G.T.	10.01.24
Drawing No.		Revision
L356212		C1

mill

erhomes

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TIMBER NOGGINS TO SUPPORT
PARTITION ABOVE WHICH RUNS
PARALLEL TO MAIN JOISTS, FIXED IN
STRICT ACCORDANCE WITH
MANUFACTURER'S INSTRUCTIONS
AND DETAILS.

CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA INDEPENDENT
BOOST SWITCH.
(MID TERRACE SITUATION ONLY)

CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA ROOM LIGHT
SWITCH.
(MID TERRACE SITUATION ONLY)

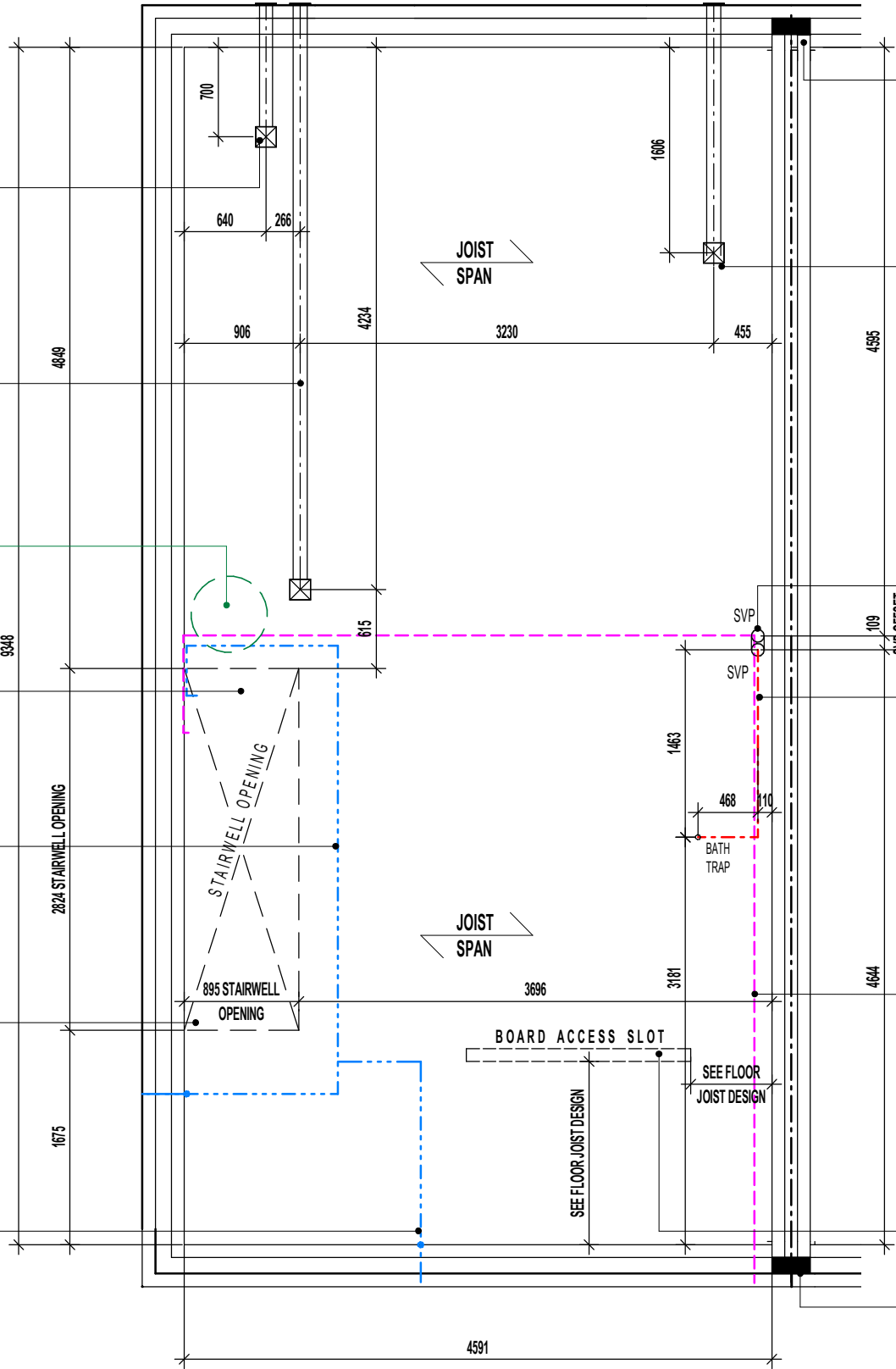
ASHP HOT WATER CYLINDER
LOCATION WHERE APPLICABLE.

STAIRWELL SACRIFICIAL JOIST AREA
TO INCLUDE A 1200mm x 600mm TRAP
DOOR IN ACCORDANCE WITH MILLER
DETAIL MHY/SD/SJ/001 &
MANUFACTURER'S FLOOR JOIST
DESIGN.

PROTECTED 25MM METER TAIL CABLE
TO BE TAKEN DOWN WALL, WITHIN
THE PERMITTED CABLE ROUTES
ZONE AS STATED IN THE BUILDING
REGULATIONS AND CHASED INTO THE
BLOCKWORK.

NOTE: OVERALL CLEAR OPENING
SIZES BETWEEN FACES OF TRIMMER
JOISTS TO BE CHECKED AGAINST
STAIRCASE MANUFACTURER'S
INSTALLATION INSTRUCTIONS AND
ANY DISCREPANCIES REPORTED.

DOT/DASH LINE INDICATES
APPROXIMATE ROUTE OF 25MM
METER TAIL CABLE TO RUN DIRECTLY
TO CONSUMER UNIT FROM METER
BOX. CABLE TO BE MECHANICALLY
PROTECTED USING A THICKER PLATE
SHEATHING AND NO LONGER THAN
15M IN LENGTH. CABLE TO TAKE
SHORTEST POSSIBLE ROUTE.
(MID-TERRACE SITUATION ONLY)



INDICATES POSITION OF MINERAL
WOOL CAVITY BARRIER.

CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA INDEPENDENT
BOOST SWITCH.

30 X 5MM SECTION GALV. M.S.
LATERAL RESTRAINT STRAPS AT MAX.
2000MM CTS. FIXED ACROSS FIRST
3No. JOISTS. REFER TO
MANUFACTURER'S DESIGN FOR
LOCATIONS.

SVP OFFSET WITHIN FLOOR VOID.

WASTE PIPES TO FALL WITHIN FLOOR
VOID AND CONNECT INTO ADJACENT
SVP. REFER TO WET AREA LAYOUT
DWG FOR DETAILS.

PRE-CONNECTORISED CABLE TO BE
INSTALLED AS PER OPENREACH
DEVELOPER GUIDE AT FIRST FIX
STAGE. 1M LENGTH TO BE LEFT
COILED UP WITHIN EMPTY BACK BOX
WITH BLANKING PLATE FITTED
INTERNALLY AND 1M COILED UP
SUFFICIENTLY PROTECTED
EXTERNALLY, ENSURING NO DAMAGE
OCCURS TO PRE CONNECTORISED
CABLE AT ANY POINT PRIOR TO
COMMISSIONING BY PROVIDER. ONT
AND BBU TO BE FITTED AT SECOND
FIX STAGE (ALL ITEMS TO BE
PROVIDED BY OPENREACH)

PLASTERBOARD ACCESS SLOT SIZE /
LOCATION SUBJECT TO FLOOR JOIST
MANUFACTURER'S DESIGN & DETAILS

INDICATES POSITION OF MINERAL
WOOL CAVITY BARRIER.

INDICATIVE FLOOR JOIST LAYOUT

REFER TO MANUFACTURERS DRAWINGS FOR FURTHER INFORMATION

Revision Note:
MID-TERRACE OPTION LAUNDRY MECHANICAL EXTRACT FAN LOCATION ADJUSTED

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION**

Drawing Title
INDICATIVE FLOOR JOIST LAYOUT

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.		Revision
L356301		C2

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RAINWATER DOWNPIPE PROVISION - GENERAL NOTE:
WHERE DWELLING IS PLOTTED AS A MID-TERRACED OPTION,
DOWNPIPE PROVISION TO BE RE-EVALUATED TO REFLECT
THE EXTENT OF ADDITIONAL RAINWATER GUTTER REQUIRED.

REFER TO ROOF TRUSS
MANUFACTURER'S LAYOUT & DESIGN
FOR EXACT ROOF PROFILES /
CENTRES ETC..

DENOTES 1450 X 150 X 30 X 5MM
GALV. M.S. RESTRAINT STRAPS AT
MAX. 2000MM CTS TO BE INSTALLED
IN ACCORDANCE WITH TRUSS
MANUFACTURERS DESIGN.

ROOF INSULATION TO BE GLASS
FIBRE QUILT TO ROOF SPACE.
OVERALL 600MM - 100MM LAID
BETWEEN CEILING JOISTS WITH 1
LAYER OF 100MM AND 2No. LAYER OF
200MM CROSS LAID TO ACHIEVE A
U-VALUE OF 0.07 W/m²K (THERMAL
CONDUCTIVITY 0.044W/mK).

CONCRETE FOUNDATIONS TO BE
STRICTLY IN ACCORDANCE WITH
STRUCTURAL ENGINEER'S DESIGN
SPECIFICATION & DETAILS

COLD ROOF CONSTRUCTION DETAILS: - (IN ACCORDANCE WITH NHBC STANDARDS 7.2.15)

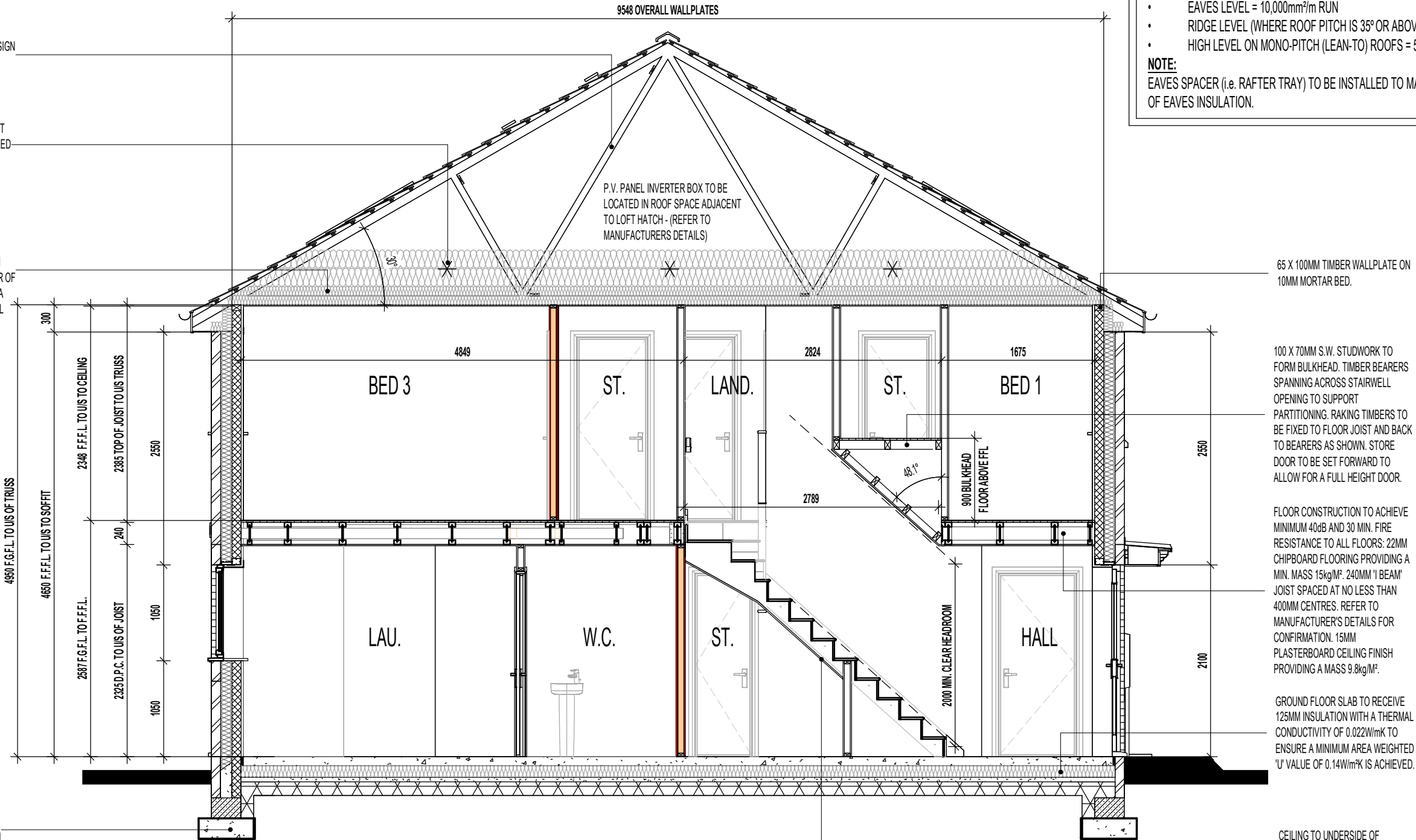
- ROOF UNDERLAY = VAPOUR IMPERMEABLE (TYPE HR)

VENTILATION PROVISION:

- EAVES LEVEL = 10,000mm²/m RUN
- RIDGE LEVEL (WHERE ROOF PITCH IS 35° OR ABOVE OR EXCEEDS 10M CLEAR SPAN) = 5,000mm²/m RUN
- HIGH LEVEL ON MONO-PITCH (LEAN-TO) ROOFS = 5,000mm²/m RUN

NOTE:

EAVES SPACER (i.e. RAFTER TRAY) TO BE INSTALLED TO MAINTAIN 25MM CLEAR AIRWAY OVER FULL LENGTH
OF EAVES INSULATION.



SECTION A-A

FOUNDATIONS ARE INDICATIVE ONLY AND STRUCTURAL ENGINEERS DETAILS SHOULD BE READ IN CONJUNCTION WITH THIS DRAWING.

Revision Note:

ROOF VENTILATION LEGEND ADDED.

Scale

1 : 50

Drawn By

G.T.

Date

06.11.23

Drawing No.

L356303

Revision

C2

Project Title

LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

Drawing Title

SECTION A-A

millerhomes

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www.millerhomes.co.uk

CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA INDEPENDENT
BOOST SWITCH.
(MID TERRACE SITUATION ONLY)

POSITION OF WALL MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN - TO BE INSTALLED NO LESS
THAN 400MM FROM THE CEILING &
MIN. 300MM FROM AN OPENING.
EXTRACT FAN BOOST FUNCTION TO
BE TURNED ON/OFF VIA
INDEPENDENT BOOST SWITCH.
(END TERRACE SITUATION ONLY)

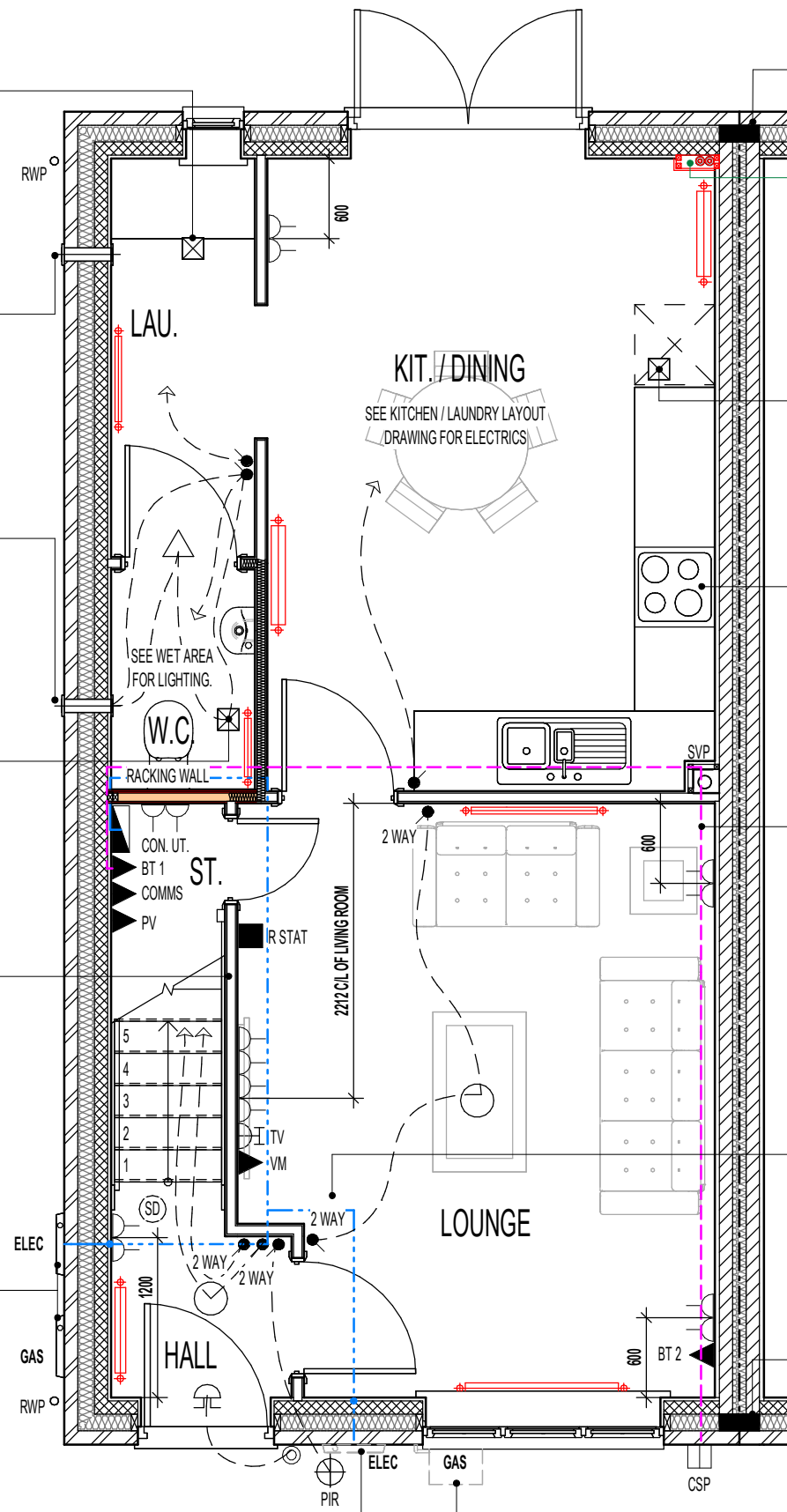
POSITION OF WALL MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN - TO BE INSTALLED NO LESS
THAN 400MM FROM THE CEILING &
MIN. 300MM FROM AN OPENING.
EXTRACT FAN BOOST FUNCTION TO
BE TURNED ON/OFF VIA ROOM LIGHT
SWITCH.
(END TERRACE SITUATION ONLY)

CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA ROOM LIGHT
SWITCH.
(MID TERRACE SITUATION ONLY)

PROTECTED 25MM METER TAIL CABLE
TO BE TAKEN DOWN WALL, WITHIN
THE PERMITTED CABLE ROUTES
ZONE AS STATED IN THE BUILDING
REGULATIONS AND CHASED INTO THE
BLOCKWORK.

LOCATION OF METER BOXES (END
TERRACE SITUATION ONLY) CONTACT
SERVICE PROVIDER FOR
CONFIRMATION OF METER BOX
POSITIONS.

LOCATION OF METER BOXES (MID
TERRACE SITUATION ONLY) CONTACT
SERVICE PROVIDER FOR
CONFIRMATION OF METER BOX
POSITIONS.



INDICATES POSITION OF MINERAL
WOOL CAVITY BARRIER.

BOXING TO BE INSTALLED TO
ENCLOSE ASHP FLOW AND RETURN
INSULATED PIPEWORK. SEE
SEPARATE STANDARD DETAIL XXXX

CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA INDEPENDENT
BOOST SWITCH.

RE-CIRCULATION COOKER HOOD
EXTRACT TO BE INSTALLED OVER
HOB.

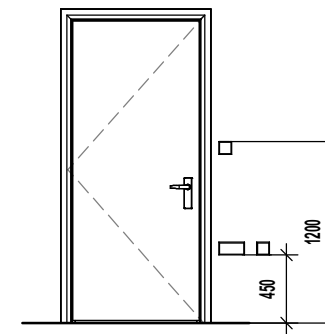
PRE-CONNECTORISED CABLE TO BE
INSTALLED AS PER OPENREACH
DEVELOPER GUIDE AT FIRST FIX
STAGE. 1M LENGTH TO BE LEFT
COILED UP WITHIN EMPTY BACK BOX
WITH BLANKING PLATE FITTED
INTERNALLY AND 1M COILED UP
SUFFICIENTLY PROTECTED
EXTERNALLY, ENSURING NO DAMAGE
OCCURS TO PRE CONNECTORISED
CABLE AT ANY POINT PRIOR TO
COMMISSIONING BY PROVIDER. ONT
AND BBU TO BE FITTED AT SECOND
FIX STAGE (ALL ITEMS TO BE
PROVIDED BY OPENREACH)

DOT/DASH LINE INDICATES
APPROXIMATE ROUTE OF 25MM
METER TAIL CABLE TO RUN DIRECTLY
TO CONSUMER UNIT FROM METER
BOX. CABLE TO BE MECHANICALLY
PROTECTED USING A THICKER PLATE
SHEATHING AND NO LONGER THAN
15M IN LENGTH. CABLE TO TAKE
SHORTEST POSSIBLE ROUTE.
(MID-TERRACE SITUATION ONLY)

INDICATES POSITION OF MINERAL
WOOL CAVITY BARRIER.

FLOOR MOUNTED GAS METER IN
POSITION SHOWN TO AVOID FOULING
PATHWAY TO ENTRANCE. (MID
TERRACE SITUATION ONLY)

PART M4 (1) ~ ACCESSIBLE CONTROLS



- SWITCHES AND SOCKETS
- TV & TELEPHONE POINTS
- DOORBELLS & ENTRY PHONES

RAINWATER DOWNPIPE PROVISION - GENERAL NOTE:
WHERE DWELLING IS PLOTTED AS A MID-TERRACED OPTION,
DOWNPIPE PROVISION TO BE RE-EVALUATED TO REFLECT
THE EXTENT OF ADDITIONAL RAINWATER GUTTER REQUIRED.

ELECTRICAL LEGEND.

P.I.R.	WALL MOUNTED LIGHT FITTING WITH P.I.R.
○	PENDANT CEILING MOUNTED LOW ENERGY LIGHT.
⊙	CEILING MOUNTED SMOKE DETECTOR.
■ CO	CEILING MOUNTED CARBON MONOXIDE DETECTOR.
●	LIGHT SWITCH.
● 2 WAY	2 WAY LIGHT SWITCH.
⌋	DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL).
L	LOUNGE COMMUNICATION PLATE TO CONSIST OF : - CO-AXIAL (FEMALE SCREENED) MODULE - SATELLITE (FEMALE SCREENED) MODULE - BT 3
TV	TV AERIAL SOCKET.
BT1 ▲	BT POINT (ROUTER POSITION) - DAISY CHAIN LINKED TO BT 2
BT2 ▲	BT POINT - (TELEPHONE POSITION) DAISY CHAIN LINKED TO BT 3 (LOUNGE PLATE)
COMMS ▲	FIBRE NETWORK INSTALLATION TERMINATION POINT - (EQUIPMENT AS SUPPLIED BY RELEVANT PROVIDER). REFER TO SEPARATE STANDARD DETAIL SV-GD-EN-008
VM ▲	VIRGIN MEDIA - PLEASE CHECK WITH SALES ADVISOR FOR AVAILABILITY.
PV ▲	P.V. INVERTER ISOLATION SWITCH & P.V. GENERATION METER TO SPECIALISTS DETAILS.
CSP	EXTERNAL CUSTOMER SPLICE POINT LOCATION. (SUPPLIED BY PROVIDER)
⊠	DMEV CEILING MOUNTED EXTRACT FAN.
⌋	DMEV WALL MOUNTED EXTRACT FAN.
△	ISOLATOR SWITCH HIGH LEVEL.
⌋	DOOR CHIME.
⊙	BELL PUSH.
R STAT	ROOM STAT.
CON.	CONSUMER UNIT. (SWITCHES TO BE 1350MM TO 1450MM FROM FFL).
⌋	BOILER FUSED SPUR.
⌋	RADIATOR.

Revision Note:

ASHP FLOW AND RETURN BOXING ADDED TO KITCHEN, MID-TERRACE OPTION LAUNDRY MECHANICAL EXTRACT FAN LOCATION ADJUSTED, ONT REPLACED WITH COMMS POINT & LEGEND UPDATED TO SUIT.

Scale

1 : 50

Drawn By

G.T.

Date

06.11.23

Drawing No.

L356513

Revision

C2

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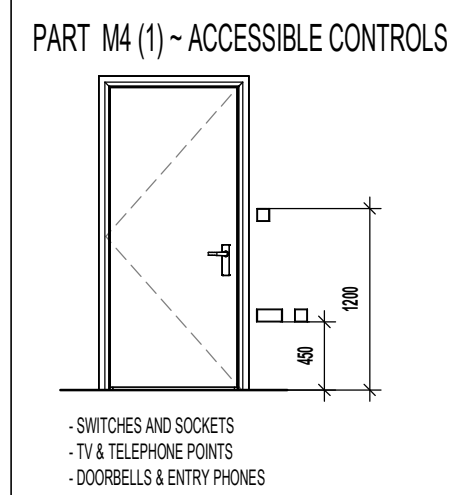
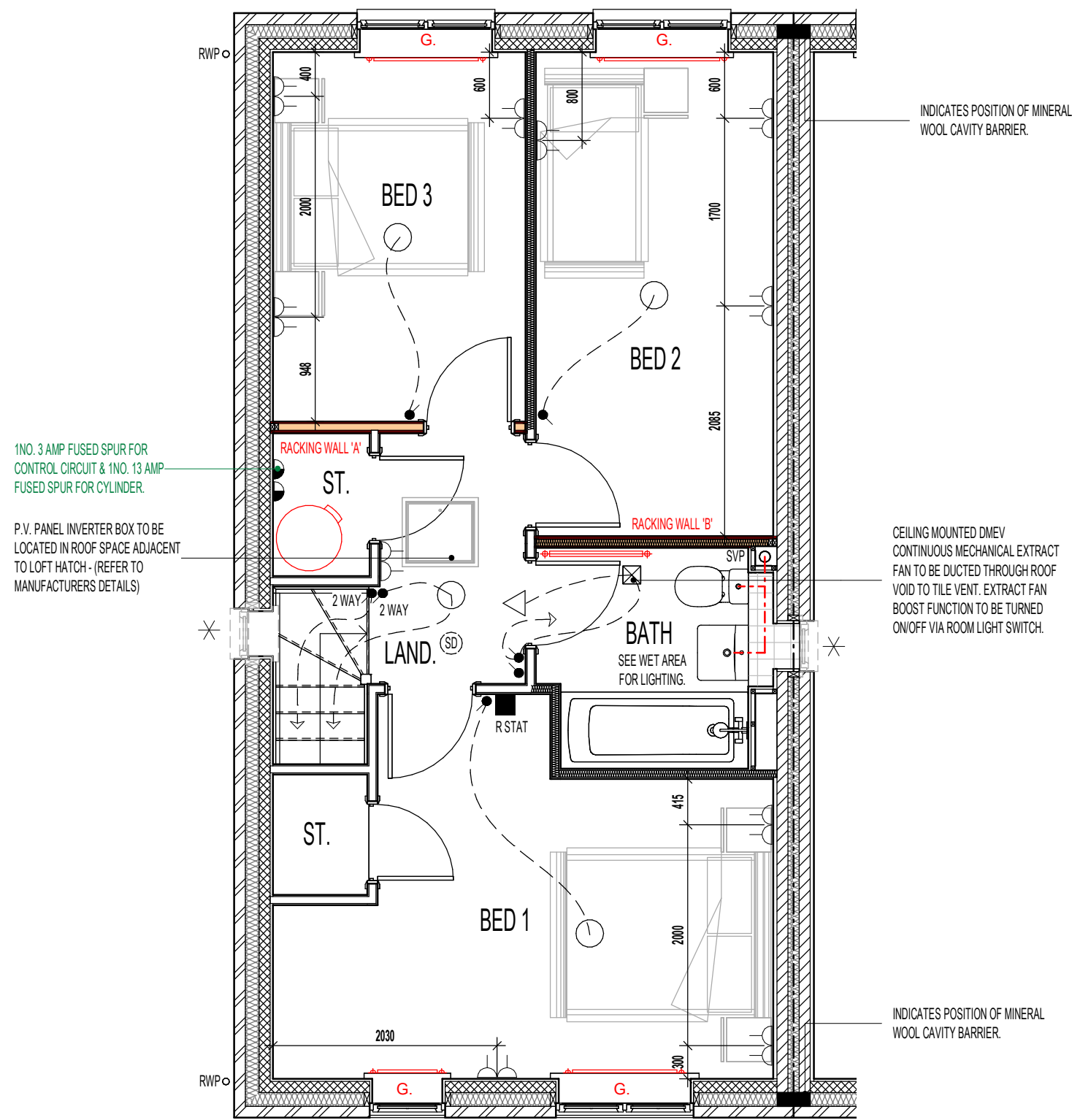
ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

GROUND FLOOR PLAN

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION**

Drawing Title
ASHP GROUND FLOOR ELECTRICAL PLAN

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING



RAINWATER DOWNPIPE PROVISION - GENERAL NOTE:
WHERE DWELLING IS PLOTTED AS A MID-TERRACED OPTION,
DOWNPIPE PROVISION TO BE RE-EVALUATED TO REFLECT
THE EXTENT OF ADDITIONAL RAINWATER GUTTER REQUIRED.

ELECTRICAL LEGEND.	
	PENDANT CEILING MOUNTED LOW ENERGY LIGHT.
	CEILING MOUNTED SMOKE DETECTOR.
	LIGHT SWITCH.
	2 WAY LIGHT SWITCH.
	RADIOFREQUENCY TEST & CONTROL SWITCH. (RADIO-LINKED TO MULTI SENSOR SMOKE & HEAT ALARM INSTALLED IN THE LOFT SPACE)
	DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL).
	DMEV CEILING MOUNTED EXTRACT FAN.
	RADIATOR.
	SHOWER FITTING.
	ISOLATOR SWITCH HIGH LEVEL.
	ROOM STAT.
	FUSED SPUR.

✱ INDICATES END TERRACE WINDOW OPTION.

G. GUARDING TO BE PROVIDED AT 1100MM FROM FFL.
NOTE: GUARDING MAY BE OMITTED IF BUILD TOLERANCE TO WINDOW OPENING IS WITHIN A RANGE OF MAXIMUM 1100MM AND MINIMUM 1000MM.

FIRST FLOOR PLAN.

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION**

Drawing Title
ASHP FIRST FLOOR ELECTRICAL PLAN

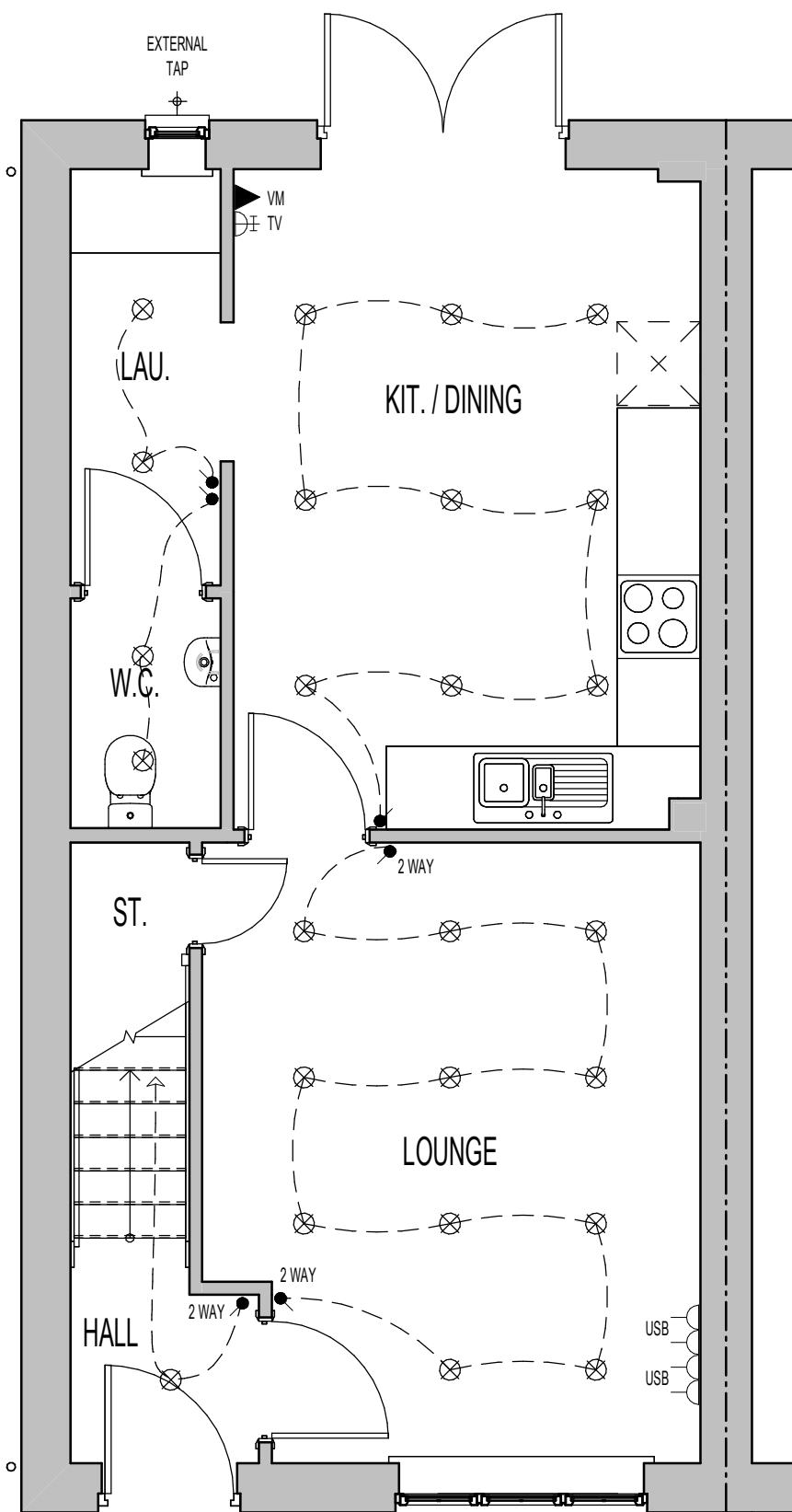
Revision Note:
FUSED SPURS ADDED TO CYLINDER CUPBOARD.

Scale	Drawn By	Date
1 : 50	G.T.	06.11.23
Drawing No.		Revision
L356514		C2

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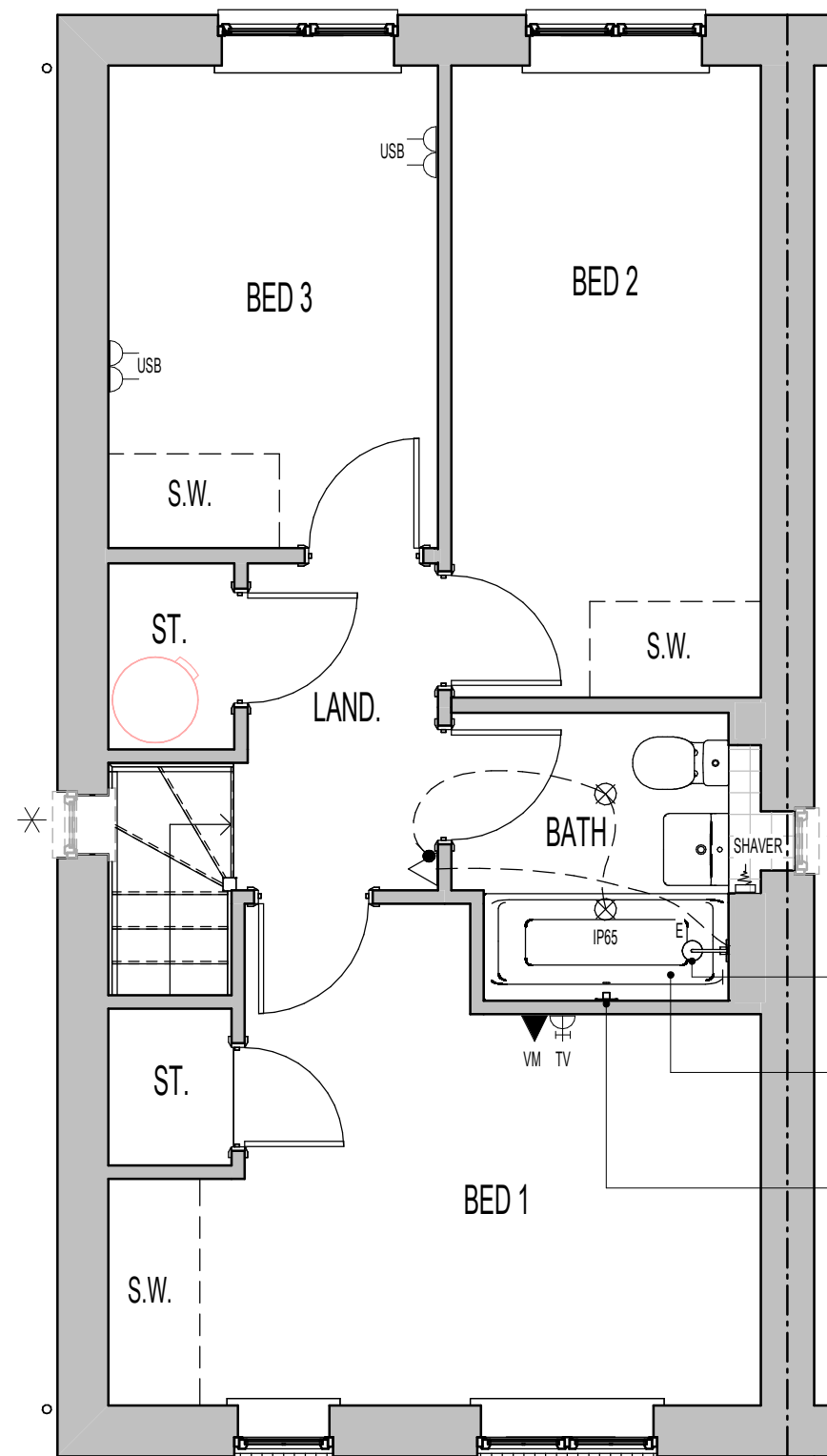
ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING



GROUND FLOOR PLAN

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING



FIRST FLOOR PLAN.

Drawing Title
ASHP GROUND & FIRST FLOOR CUSTOMER
OPTIONS

OPTIONAL TILING LEGEND.

HALF AND FULL HEIGHT TILING OPTION AVAILABLE TO WC, BATHROOM AND ENSUITES.
NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT. SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.

ELECTRICAL LEGEND.

	LED DOWNLIGHTER . (IP65 RATED WHERE INDICATED)
	TV AERIAL SOCKET.
	VIRGIN MEDIA - PLEASE CHECK WITH SALES ADVISOR FOR AVAILABILITY.
	DOUBLE-POLE ISOLATING SWITCH, RATING TO SUIT APPLIANCE INSTALLED. WALL MOUNTED IN ACCORDANCE WITH IEE REGULATIONS.
	ELECTRIC SHOWER FITTING OVER BATH.
	SHAVER SOCKET.
	EXTERNAL TAP.
	DOUBLE SWITCHED SOCKET OUTLET WITH USB CHARGING POINT(LOW LEVEL).

PLAN LEGEND.

S.W. SLIDING WARDROBE.
- CHECK WITH SALES ADVISOR FOR STYLE AND AVAILABILITY.
* INDICATES OPTIONAL WINDOW POSITION FOR ALTERNATIVE HANDING / END TERRACED PLOTTING SITUATION; CONFIRM WITH REGIONAL TECHNICAL TEAM OVER SITE SPECIFIC VARIATIONS.

DOWNLIGHTER NOTES.

- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.
- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.
- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

G.T.

Date

10.01.24

Drawing No.

L356515

Revision

C1

mill

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

TILING LEGEND.

NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT.
SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.



DENOTES EXTENT OF 1 ROW TILED SPLASHBACK.

SANITARYWARE SCHEDULE - W.C.

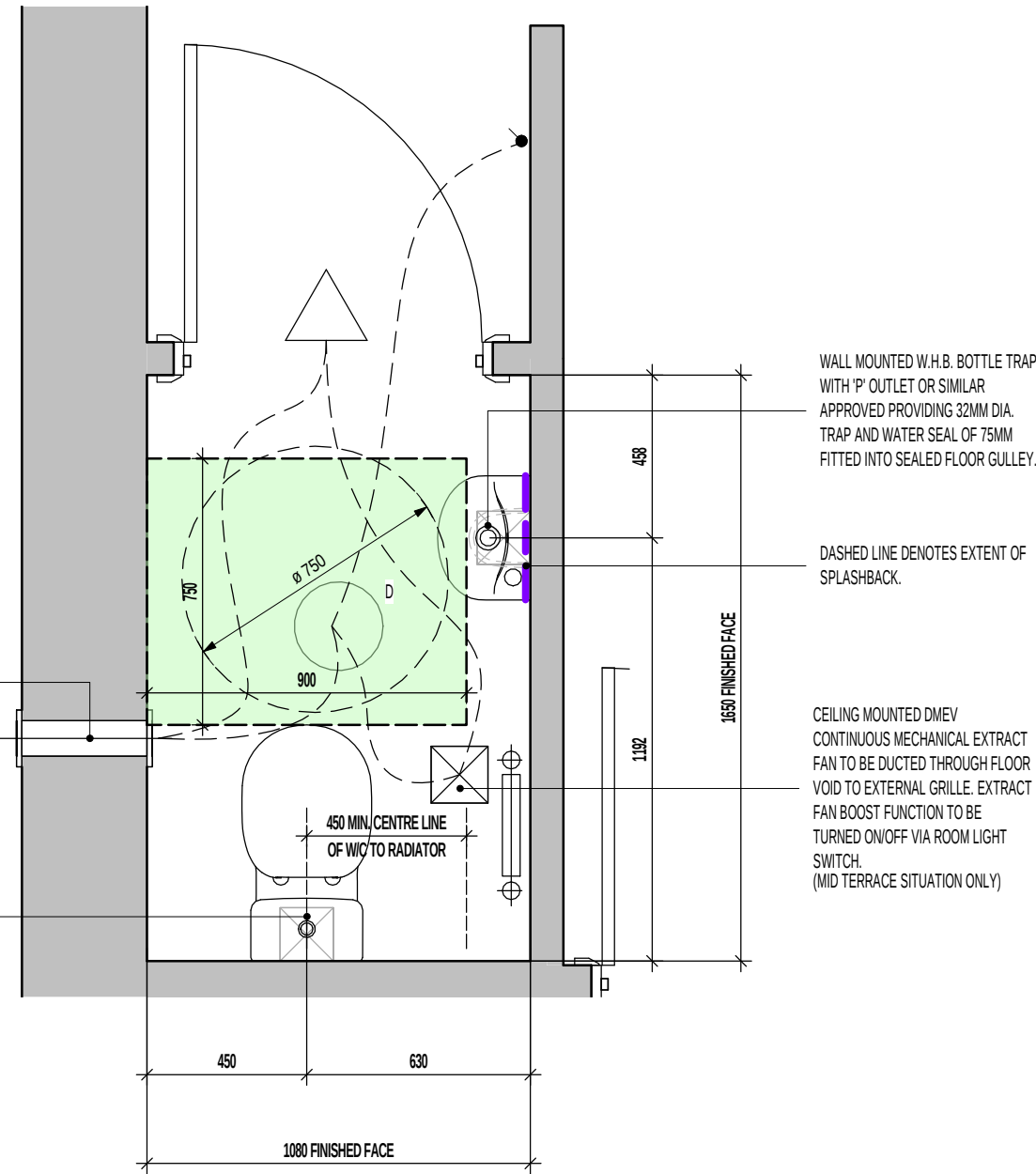
LOCATION	ITEM	SIZE
W.C.	WC PAN & CISTERN	360mm x 660mm
W.C.	350 WHB RH TAP & FULL PEDESTAL	350mm x 262mm

ELECTRICAL LEGEND.

	DRUM LOW ENERGY LIGHT.
	LIGHT SWITCH.
	DMEV CEILING MOUNTED EXTRACT FAN.
	DMEV WALL MOUNTED EXTRACT FAN.
	RADIATOR.
	ISOLATOR SWITCH HIGH LEVEL.

POSITION OF WALL MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN - TO BE INSTALLED NO LESS
THAN 400MM FROM THE CEILING &
MIN. 300MM FROM AN OPENING.
EXTRACT FAN BOOST FUNCTION TO
BE TURNED ON/OFF VIA ROOM LIGHT
SWITCH.

W.C. BENT HORIZONTAL OUTLET W.C.
CONNECTOR WITH SPIGOT TAIL.
PROVIDING 100MM DIA. TRAP AND
WATER SEAL OF 50MM FITTED INTO
SEALED FLOOR GULLEY.



WALL MOUNTED W.H.B. BOTTLE TRAP
WITH 'P' OUTLET OR SIMILAR
APPROVED PROVIDING 32MM DIA.
TRAP AND WATER SEAL OF 75MM
FITTED INTO SEALED FLOOR GULLEY.

DASHED LINE DENOTES EXTENT OF
SPLASHBACK.

CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH FLOOR
VOID TO EXTERNAL GRILLE. EXTRACT
FAN BOOST FUNCTION TO BE
TURNED ON/OFF VIA ROOM LIGHT
SWITCH.
(MID TERRACE SITUATION ONLY)

W.C. LAYOUT
SCALE : 1:20

FOR ALTERNATIVE LED DOWNLIGHTER LOCATIONS, REFER TO CUSTOMER OPTIONS LAYOUT

Project Title
L356 - 3B / 5P / 907 - DENTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
W.C. LAYOUT

Revision Note:

W/C PAN SETTING-OUT DIMENSION UPDATED TO DENOTE 450MM CLEAR DIMENSION FROM WALL TO C/L OF PAN

Scale	Drawn By	Date
As indicated	G.T.	06.11.23
Drawing No.	Revision	
L356601	C2	

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TILING LEGEND.

NB: TILING SUBSTRATE / TANKING PROVISION TO BE IN ACCORDANCE WITH STANDARD DETAIL REF: - GEN-GD-EN-006

NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT. SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.

DENOTES EXTENT OF FULL HEIGHT OVER BATH TILING.

DENOTES EXTENT OF 400MM HEIGHT OVER BATH TILING.

DENOTES EXTENT OF 1 ROW TILED SPLASHBACK.

SANITARYWARE SCHEDULE - BATHROOM		
LOCATION	ITEM	SIZE
BATH	500 SEMI PEDESTAL WHB	500mm x 460mm
BATH	SINGLE ENDED BATH	1700mm x 700mm
BATH	WC PAN & CISTERN	360mm x 660mm

ELECTRICAL LEGEND.	
	DRUM LOW ENERGY LIGHT.
	LIGHT SWITCH.
	DMEV CEILING MOUNTED EXTRACT FAN.
	DMEV WALL MOUNTED EXTRACT FAN.
	RADIATOR.
	ISOLATOR SWITCH HIGH LEVEL.

FOR ALTERNATIVE LED DOWNLIGHTER LOCATIONS, REFER TO CUSTOMER OPTIONS LAYOUT

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

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ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS: -

ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED FOR AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

CEILING MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN TO BE DUCTED THROUGH ROOF
VOID TO TILE VENT. EXTRACT FAN
BOOST FUNCTION TO BE TURNED
ON/OFF VIA ROOM LIGHT SWITCH.

DASHED LINE INDICATES EXTENT OF
400MM HIGH TILING AROUND BATH
LOW LEVEL BATH TRAP PROVIDING
40MM DIA. TRAP WITH 50MM WATER
SEAL & FLEXIBLE OVERFLOW TUBE
CONNECTING TO BATH WASTE
OVERFLOW OUTLET.
WASTE CONNECTED TO HEAD OF
WWHRS.

W.C. BENT HORIZONTAL OUTLET W.C.
CONNECTOR PROVIDING 100MM DIA.
TRAP AND WATER SEAL OF 50MM OR
SIMILAR APPROVED CONNECTED TO
ADJACENT SVP.

SVP OFFSET WITHIN FLOOR VOID.

W/C & WHB DRAINAGE TO BE TAKEN
ABOVE FLOOR LEVEL WITHIN BOXING.

HALF HEIGHT BOXING TO BE TAKEN
IN LINE WITH WINDOW CILL WITH TOP
SURFACE RECEIVING TILED FINISH

DASHED LINE DENOTES EXTENT OF
SPLASHBACK.

SEMI-PEDESTAL W.H.B. BOTTLE TRAP
WITH 'P' OUTLET OR SIMILAR
APPROVED PROVIDING 32MM DIA.
TRAP AND WATER SEAL OF 75MM.
REFER TO SEPARATE DETAIL FOR
CONCEALED DRAINAGE RUNS AND
W.H.B. FIXING POSITIONS.

SOLID LINE INDICATES EXTENT OF
FULL HEIGHT TILING.

✱ INDICATES OPTIONAL WINDOW POSITION FOR ALTERNATIVE
HANDING / END TERRACED PLOTTING SITUATION; CONFIRM WITH
REGIONAL TECHNICAL TEAM OVER SITE SPECIFIC VARIATIONS.

BATHROOM LAYOUT

SCALE : 1:20

Revision Note:

TILING SUBSTRATE / TANKING PROVISION DENOTED.

Scale

As indicated

Drawn By

G.T.

Date

06.11.23

Drawing No.

L356603

Revision

C2

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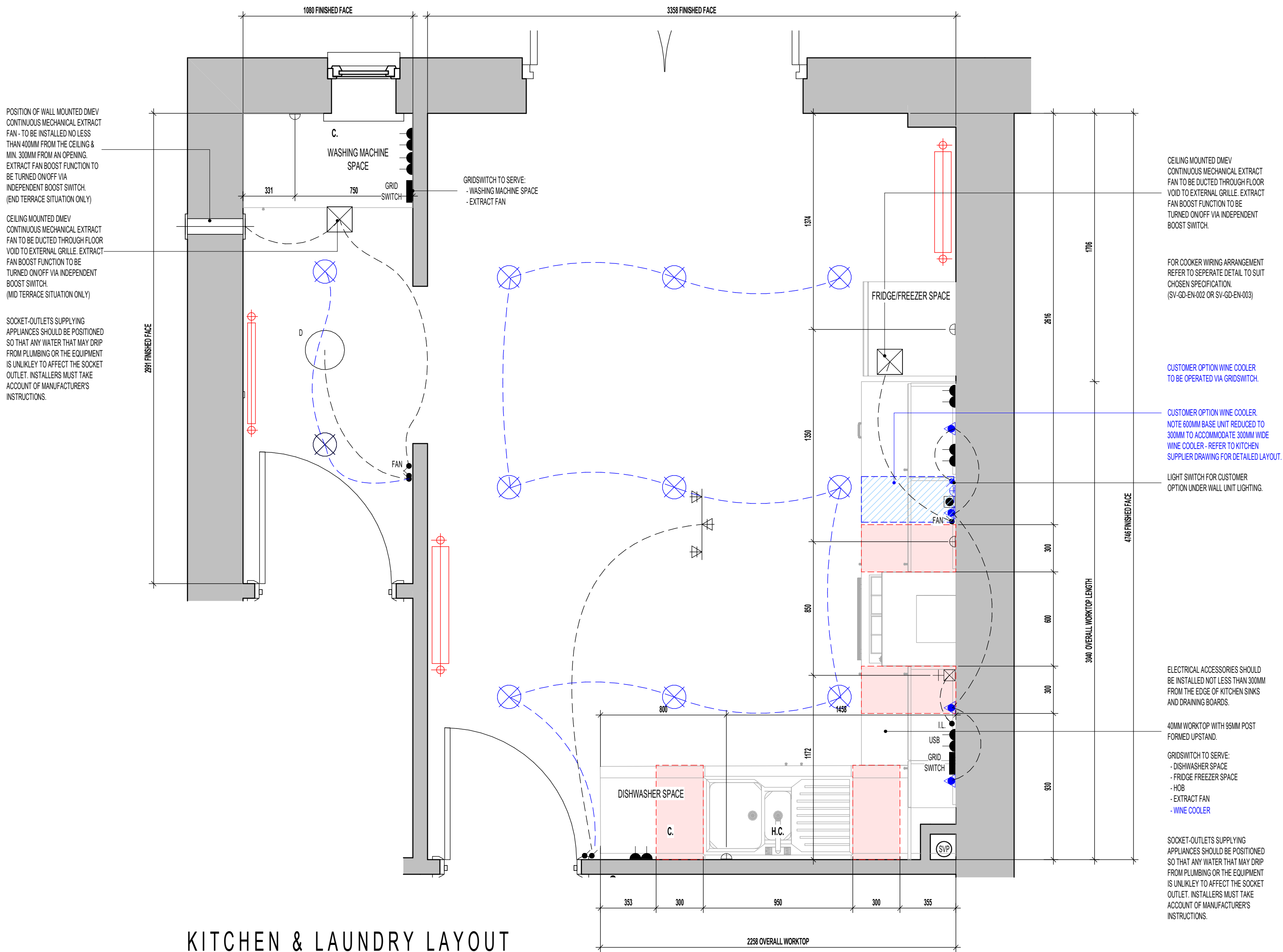
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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

REFER TO SUPPLIERS INFORMATION FOR CABINETRY. CHECK WITH REGIONAL OFFICE FOR SPECIFICATION LEVEL.



KITCHEN & LAUNDRY LAYOUT

ELECTRICAL LEGEND.	
	3 SPOT TRACK LIGHT.
	DRUM LOW ENERGY LIGHT
	PRE-PRINTED ROCKERS TO GRIDSWITCH BANK.
	LIGHT SWITCH.
	SWITCH WITH NEON INDICATOR LIGHT.
	DMEV FAN INDEPENDANT BOOSTER SWITCH.
	13AMP DOUBLE SWITCHED SOCKET. (1200MM ABOVE FLOOR TO UIS SOCKET)
	13AMP DOUBLE SWITCHED SOCKET WITH USB CHARGE POINT. (1200MM ABOVE FLOOR TO UIS SOCKET)
	13AMP UNSWITCHED SINGLE SOCKET FOR APPLIANCES - 450MM ABOVE FLOOR TO UIS SOCKET
	COOKER HOOD POWER. (1200MM ABOVE FLOOR TO UIS SOCKET)
	45AMP COOKER CONTROL FEED. - 450MM ABOVE FLOOR TO UIS SOCKET.
	DMEV CEILING MOUNTED EXTRACT FAN.
	DMEV WALL MOUNTED EXTRACT FAN.
	GAS FEED FOR HOB.
	HOT AND COLD WATER FEEDS.
	BOILER FUSED SPUR
	CEILING MOUNTED CARBON MONOXIDE DETECTOR.
	RADIATOR
	LED DOWNLIGHTS (CUSTOMER OPTION).
	LED LIGHT FITTING (CUSTOMER OPTION).
	13AMP UNSWITCHED SINGLE SOCKET FOR (CUSTOMER OPTION WINE COOLER) - 450MM ABOVE FLOOR TO UIS SOCKET

HATCH INDICATES ZONES WHERE NO ELECTRICAL FITTINGS SHOULD BE INSTALLED ABOVE THE WORKTOP.

CUSTOMER OPTIONS.

ITEMS HIGHLIGHTED IN BLUE DENOTE CUSTOMER OPTIONS.

- WHERE APPLIANCE SPACES SHOWN, INTEGRATED APPLIANCES AVAILABLE
- 22MM WORKTOP AVAILABLE
- WINECOOLER AVAILABLE - LOCATION INDICATED
- DOWNLIGHTER SPOTLIGHTS AVAILABLE - LOCATIONS AND QUANTITY INDICATED
- LED UNDER UNIT LIGHT FITTING AND SWITCH
- PLINTH LIGHTS AND SWITCH
- INDUCTION HOB AVAILABLE
- DOUBLE OVEN AVAILABLE
- PRODUCT VARIATIONS AVAILABLE, DISCUSS OPTIONS WITH SALES MANAGER.

DOWNLIGHTER NOTES.

- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.
- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.
- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

Revision Note:		
LAUNDRY DOUBLE SOCKET MOVED FROM UNDER WINDOW TO RH FLANK WALL		
Scale	Drawn By	Date
1 : 20	G.T.	10.01.24
Drawing No.	Revision	
L356612	C2	

Project Title
L356 - 3B / 5P / 907 - DENTON
2024 NATIONAL PORTFOLIO
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP KITCHEN & LAUNDRY LAYOUT

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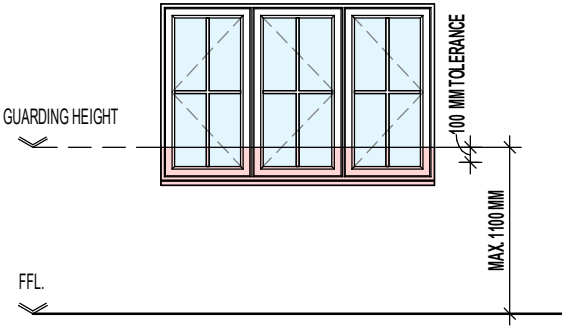
ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING

MILLER STANDARD WINDOW SCHEDULE																		
	LOCATION	WIDTH (mm)	HEIGHT (mm)	SIDE HUNG	TOP HUNG	NON-OPENING CASEMENTS	GLAZING STYLE	GLAZING PATTERN	EGRESS WINDOW	TOUGHENED SAFETY GLASS	RESTRICTOR	GUARDING	BS PAS 24	CILL TYPE	VENTILATOR EA (mm2)	OPTIONAL	COMMENTS	
W1	LOUNGE	1810	1350	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E					Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²			
W2	LAU.	460	1050	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E					Yes	SEE WORKING DRAWING ELEVATIONS	0 mm²			
W3	BED 1	1248	1125	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E				Yes	Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²			
W4	BED 1	685	1125	Yes		N/A	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E				Yes	Yes	SEE WORKING DRAWING ELEVATIONS	4400 mm²			
W5	LAND.	460	1200	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E						SEE WORKING DRAWING ELEVATIONS	0 mm²	Yes	OPTIONAL	
W6	BED 3	1248	1125	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E						Yes	Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²	
W7	BED 2	1248	1125	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E				Yes		Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²		
W8	BATH	460	1050	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	OBSCURE LOW - E							SEE WORKING DRAWING ELEVATIONS	0 mm²	Yes	OPTIONAL

BACKGROUND VENTILATORS -
FOR CONTINUOUS MECHANICAL EXTRACT VENTILATION SYSTEMS (dMEV)

IN ACCORDANCE WITH APPROVED DOCUMENT F1(1), DWELLINGS INCORPORATING A CONTINUOUS MECHANICAL EXTRACT VENTILATION SYSTEM, SHOULD ALLOW FOR BACKGROUND VENTILATORS THAT SATISFY ALL OF THE FOLLWING CONDITIONS: -

- a. NOT BE IN WET ROOMS;
- b. PROVIDE A MINIMUM EQUIVALENT AREA OF 4000MM² FOR EACH HABITABLE ROOM IN THE DWELLING;
- c. PROVIDE A MINIMUM TOTAL NUMBER OF VENTILATORS THAT IS THE SAME AS THE NUMBER OF BEDROOMS PLUS TWO- VENTILATORS; I.E: -
 - 1 BED DWELLING = 3 VENTILATORS (MIN.)
 - 2 BED DWELLING = 4 VENTILATORS (MIN.)
 - 3 BED DWELLING = 5 VENTILATORS (MIN.)
 - 4 BED DWELLING = 6 VENTILATORS (MIN.)
 - 5 BED DWELLING = 7 VENTILATORS (MIN.)



WHERE FIRST FLOOR WINDOWS FORM PART OF THE OVERHEATING MITIGATION STRATEGY, ENSURE GUARDING IS INSTALLED AS PER THE DIAGRAM ABOVE AND DESIGNED AS FOLLOWS:

- GUARDING SHOULD BE SIZED TO PREVENT THE PASSAGE OF A 100MM SPHERE.
- ANY HOLE WHICH ALLOWS THE PASSAGE OF AN 8MM DIAMETER ROD SHOULD ALSO ALLOW THE PASSAGE OF A 25MM DIAMETER ROD. SUCH HOLES SHOULD NOT TAPER IN A WAY THAT ALLOWS FINGER ENTRAPMENT.
- ANY WALL, PARAPET, BALUSTRADE, SHUTTERS WITH A CHILD-PROOF LOCK OR SIMILAR OBSTRUCTION CAN BE USED AS GUARDING.
- ENSURE THAT GUARDING CAN RESIST, AS A MINIMUM, THE LOADS GIVEN IN BS EN 1991-1-1 WITH ITS UK NATIONAL ANNEX AND PD 6688-1-1.
- WHERE GLAZING IS USED IN THE GUARDING, REFER TO SECTION 5 OF APPROVED DOCUMENT K.

MILLER STANDARD OPENABLE AREA SCHEDULE - PER PANE		
OPENING REF.	OPENING HEIGHT	OPENING WIDTH
	1.02	0.61
	1.02	0.57
	1.24	0.55
	1.02	0.57
	1.02	0.57
D2	2.06	0.87
W1	1.24	0.55
W2	0.94	0.38
W3	1.02	0.57
W4	1.02	0.61
W6	1.02	0.57
W7	1.02	0.57

MILLER STANDARD GLAZING AREA SCHEDULE - PER PANE		
REF.	OPENER GLAZING AREA	FIXED GLAZING AREA
	0.41 m²	
	0.38 m²	0.38 m²
	0.45 m²	0.45 m²
	0.38 m²	0.38 m²
	0.38 m²	0.38 m²
D1	0.45 m²	0.45 m²
D2	1.09 m²	
W1	0.45 m²	0.45 m²
W2	0.19 m²	
W3	0.38 m²	0.38 m²
W4	0.41 m²	
W6	0.38 m²	0.38 m²
W7	0.38 m²	0.38 m²

IMPORTANT NOTE:
IF DWELLING **HANDED**, ALTERNATIVE OVERHEATING CALCULATIONS TO BE OBTAINED BY REGION TO ACCOUNT FOR OPTIONAL WINDOW DENOTED ON PARTY WALL.

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

Drawing Title
WINDOW SCHEDULE

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

G.T.

Date

06.11.23

Drawing No.

L356701

Revision

C1

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MILLER STANDARD EXTERNAL AND INTERNAL DOOR SCHEDULE

REF.	LOCATION	DOOR CONFIGURATION	STRUCTURAL OPENING		DOOR PANEL DIMENSIONS			DOOR STYLE	GLAZING REF.	SIDELIGHT REF.	FINISH	TOUGHENED SAFETY GLASS	WALL TYPE	BS PAS 24	VENTILATOR EA (mm²)	COMMENTS
			HEIGHT	WIDTH	DOOR PANEL HEIGHT	DOOR PANEL WIDTH	DOOR PANEL THICKNESS									
D1	HALL	SINGLE EXTERNAL	2100	1023		924	44	CHECK WITH REGION	OBSCURE LOW - E	N/A	SMOOTH	Yes	CAVITY WALL	Yes		
D2	KIT. / DINING	EXTERNAL FRENCH DOOR	2100	1810		1707	44	FRENCH DOORS	CLEAR LOW - E	N/A	P.V.C.U.	Yes	CAVITY WALL	Yes		
D3	LOUNGE	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No		
D4	ST.	SINGLE INTERNAL	2030	671	1981	610	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No		
D5	KIT. / DINING	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No		
D6	W.C.	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No		
D7	ST.	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No		
D8	BED 3	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No		DOOR LINING TO SUIT RACKING WALL THICKNESS (WHERE NECESSARY)
D9	BED 2	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No		
D10	BATH	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No		
D11	BED 1	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No		
D12	ST.	SINGLE INTERNAL	2030	747	1981	686	35	CHECK WITH REGION	N/A	N/A	SMOOTH	No	STUD WALL	No		

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

Drawing Title
DOOR SCHEDULE

Revision Note:
CONSTRUCTION ISSUE

Scale	Drawn By	Date
	G.T.	06.11.23
Drawing No.		Revision
L356702		C1

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LINTELS SUPPORTING GIRDER TRUSSES:
STANDARD LINTEL SCHEDULES DESIGNED TO 'AS' ROOF
CONFIGURATION. REGIONS TO OBTAIN ALTERNATIVE LINTEL
SCHEDULES SHOULD ANY DEVIATION FROM THIS ROOF
DESIGN BE APPLICABLE. (I.E. MID/OPP HANDING)

MILLER STANDARD LINTEL SCHEDULE - DOORS				
REF.	LOCATION	STRUCTURAL OPENING WIDTH	WALL TYPE	COMMENTS
D1	HALL	1023	CAVITY WALL	
D2	KIT. / DINING	1810	CAVITY WALL	

MILLER STANDARD LINTEL SCHEDULE - WINDOWS			
REF.	LOCATION	STRUCTURAL OPENING WIDTH	COMMENTS
W1	LOUNGE	1810	
W2	LAU.	460	
W3	BED 1	1248	
W4	BED 1	685	
W5	LAND.	460	OPTIONAL
W6	BED 3	1248	
W7	BED 2	1248	
W8	BATH	460	OPTIONAL

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L356 - 3B / 5P / 907 - DENTON
2021 UPLIFT SPECIFICATION

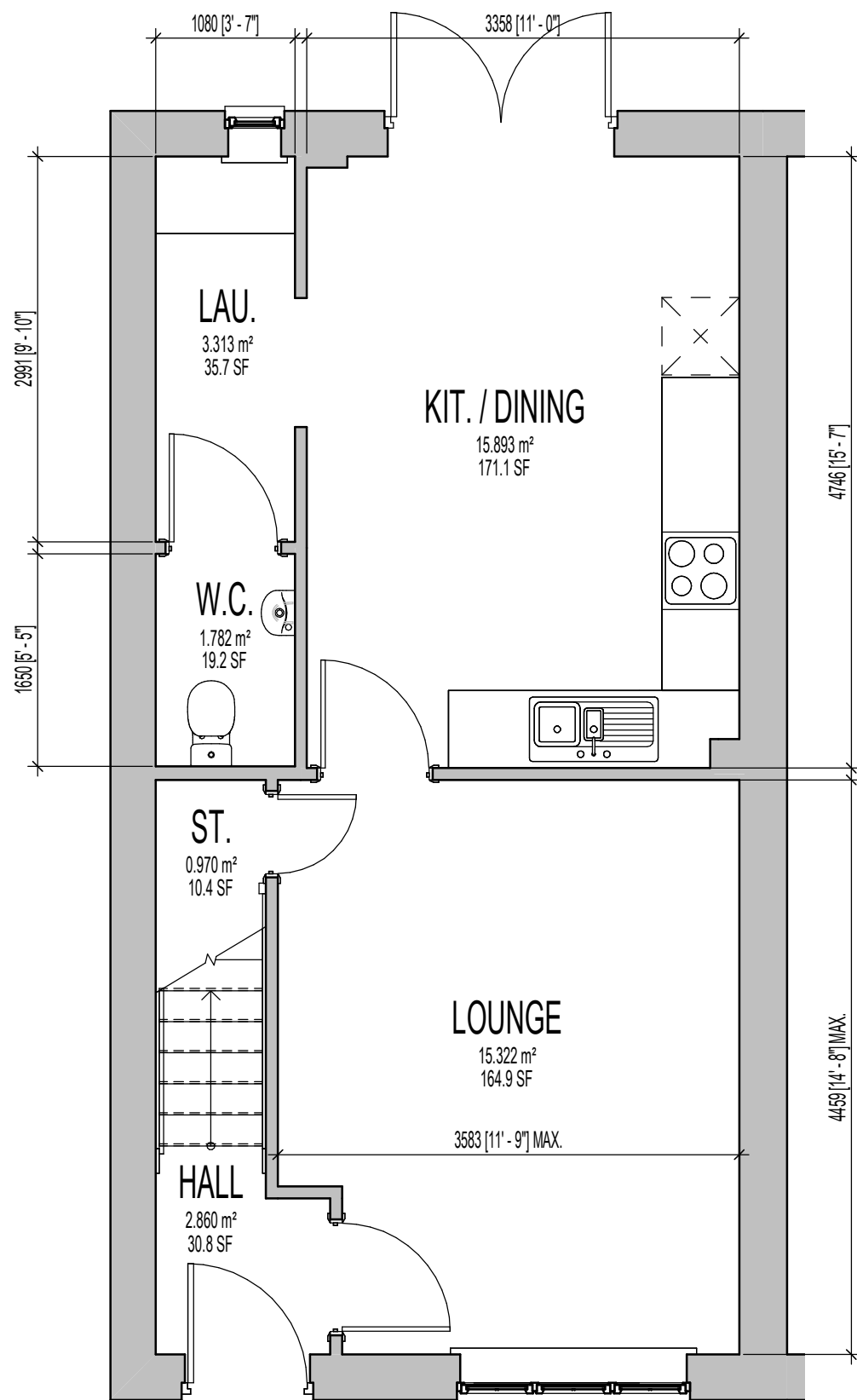
Drawing Title
LINTEL SCHEDULES

Revision Note:
CONSTRUCTION ISSUE

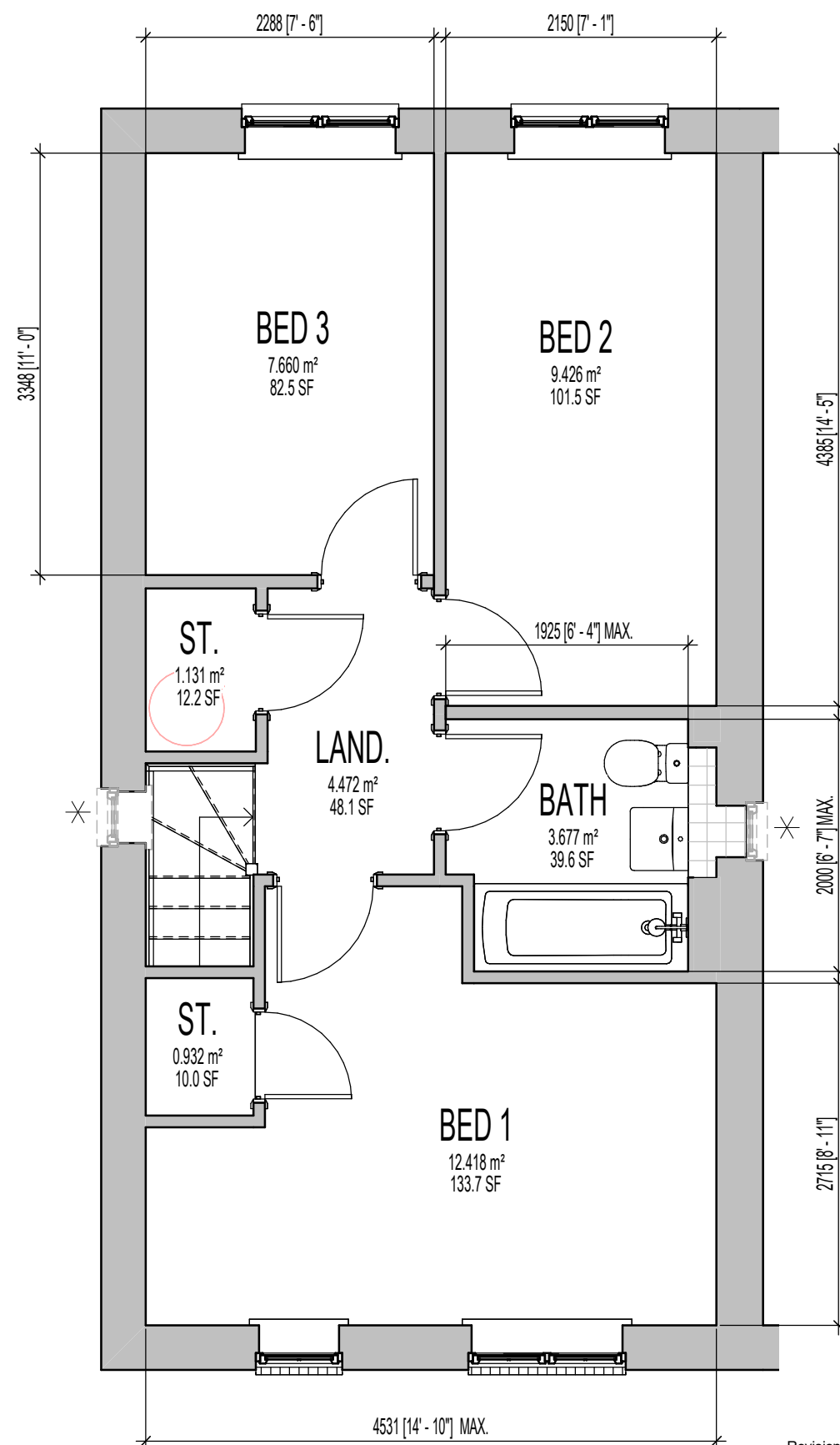
Scale	Drawn By	Date
N/A	G.T.	06.11.23
Drawing No.		Revision
L356703		C1



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GROUND FLOOR PLAN



FIRST FLOOR PLAN.

MILLER STANDARD ROOM SIZE SCHEDULE								
ROOM NAME	FLOOR	METRIC				IMPERIAL		
		WIDTH		DEPTH		WIDTH	DEPTH	
LOUNGE	GROUND FLOOR	3583	MAX	X 4459	MAX	11' - 9"	X 14' - 8"	
KIT. / DINING	GROUND FLOOR	3358		X 4746		11' - 0"	X 15' - 7"	
LAU.	GROUND FLOOR	1080		X 2991		3' - 7"	X 9' - 10"	
W.C.	GROUND FLOOR	1080		X 1650		3' - 7"	X 5' - 5"	
BED 1	FIRST FLOOR	4531	MAX	X 2715		14' - 10"	X 8' - 11"	
BED 2	FIRST FLOOR	2150		X 4385		7' - 1"	X 14' - 5"	
BED 3	FIRST FLOOR	2288		X 3348		7' - 6"	X 11' - 0"	
BATH	FIRST FLOOR	1925	MAX	X 2000	MAX	6' - 4"	X 6' - 7"	

✱ OPTIONAL WINDOW POSITIONS FOR ALTERNATIVE HANDING.

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

G.T.

Date

10.01.24

Drawing No.

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Revision

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
 L356 - 3B / 5P / 907 - DENTON
 2021 UPLIFT SPECIFICATION**

Drawing Title
ASHP SALES BROCHURE PLANS

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING