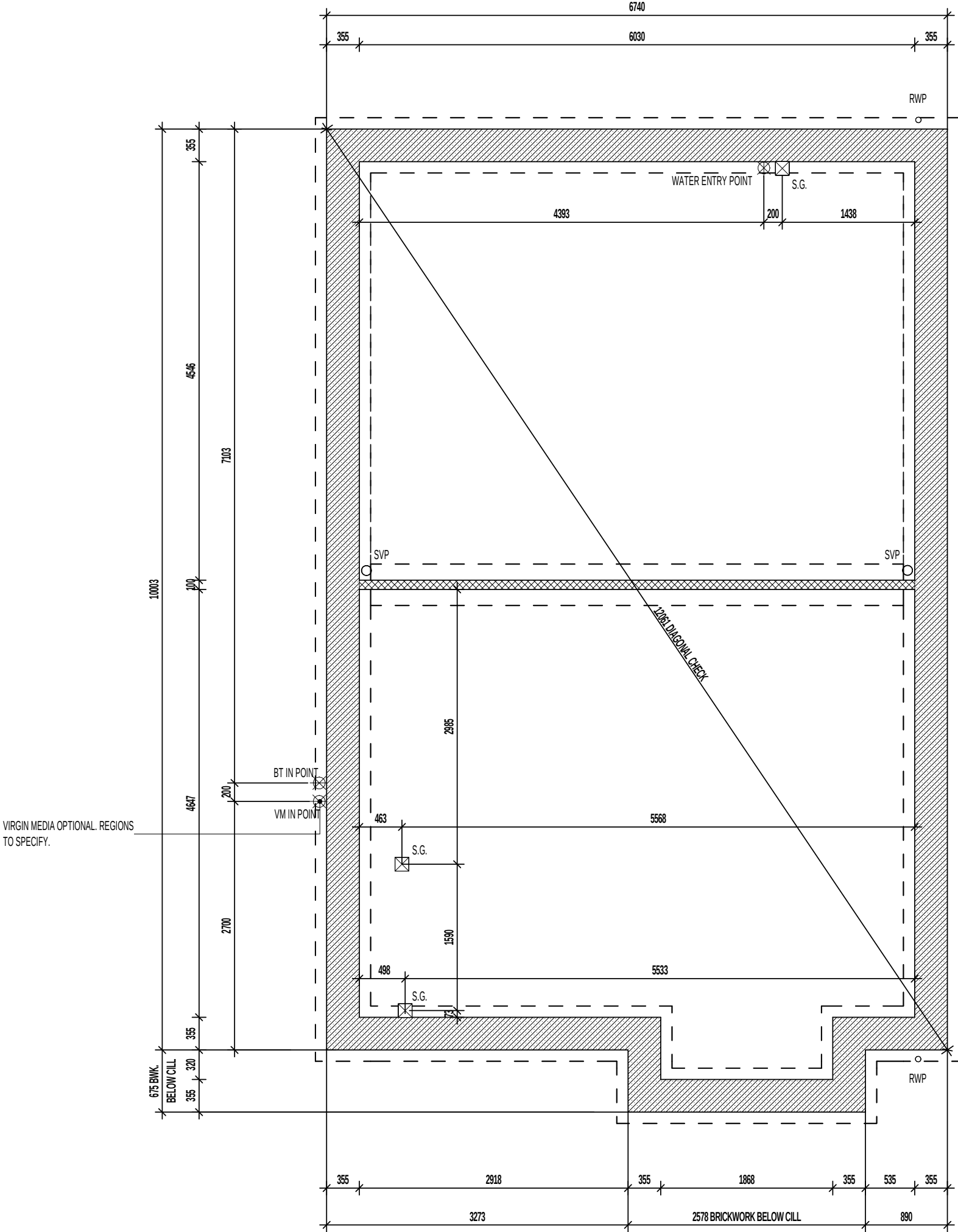


WALL LEGEND.

DENOTES 355MM THICK 3.6N/MM² FOUNDATION BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.



TRENCH BLOCK FOUNDATION PLAN

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP TRENCH BLOCK FOUNDATION PLAN

Revision Note:
CONSTRUCTION ISSUE

Scale
1 : 50

Drawn By
M.T.

Date
07.03.24

Drawing No.
L459105

Revision
C1

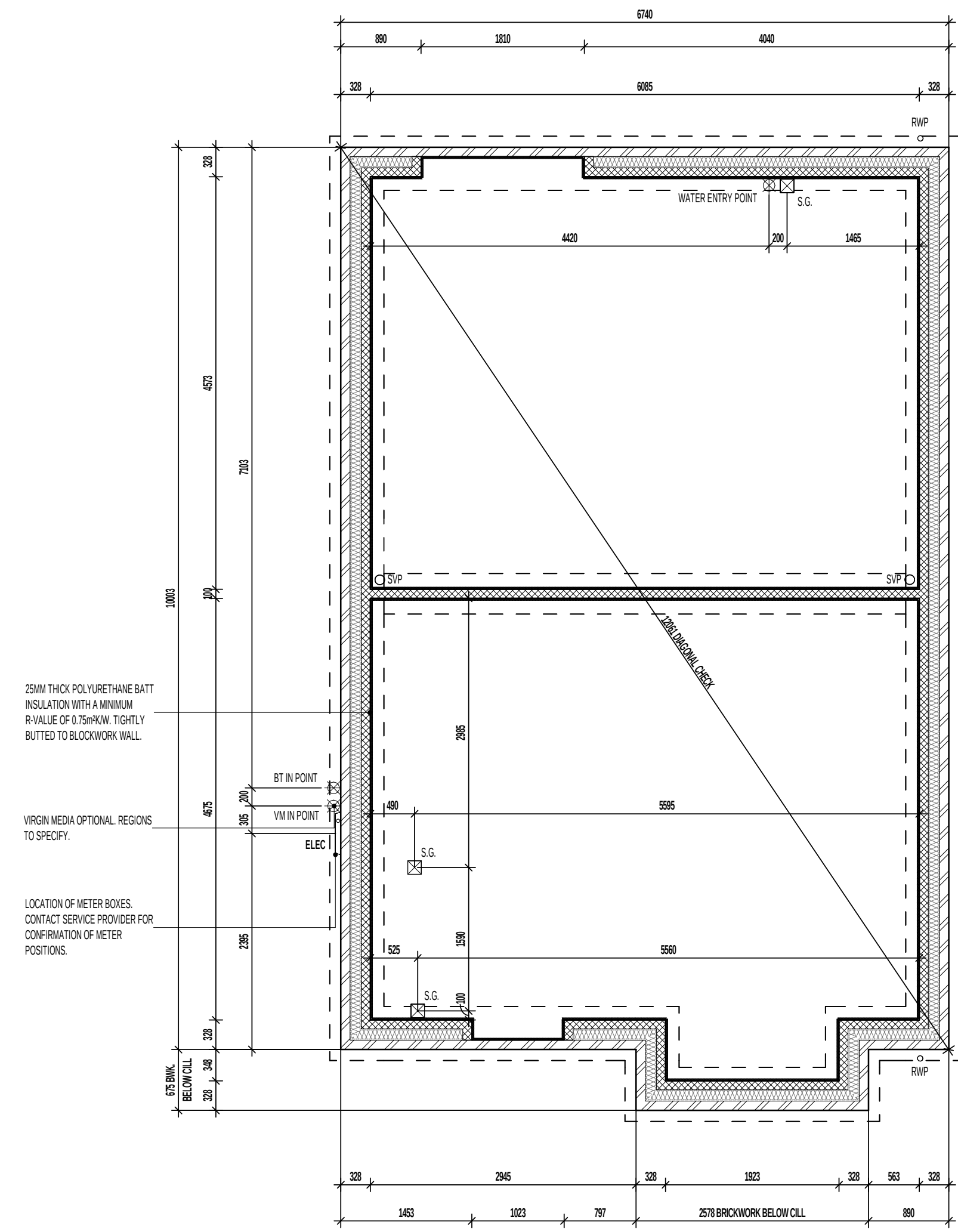
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

WALL LEGEND.

- DENOTES 328MM THICK CAVITY WALL :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
- DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:
REFER TO DIMENSIONED G.F. PLANS FOR EXTERNAL & INTERNAL DOOR
LOCATIONS AND CROSS REFER TO ASSOCIATED STANDARD DETAILS FOR
DOOR THRESHOLD TREATMENT.



GROUND BEARING FOUNDATION PLAN

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
ASHP GROUND BEARING FOUNDATION PLAN

Revision Note:
CONSTRUCTION ISSUE

Scale	Drawn By	Date
1 : 50	M.T.	07.03.24
Drawing No.		Revision
L459106		C1

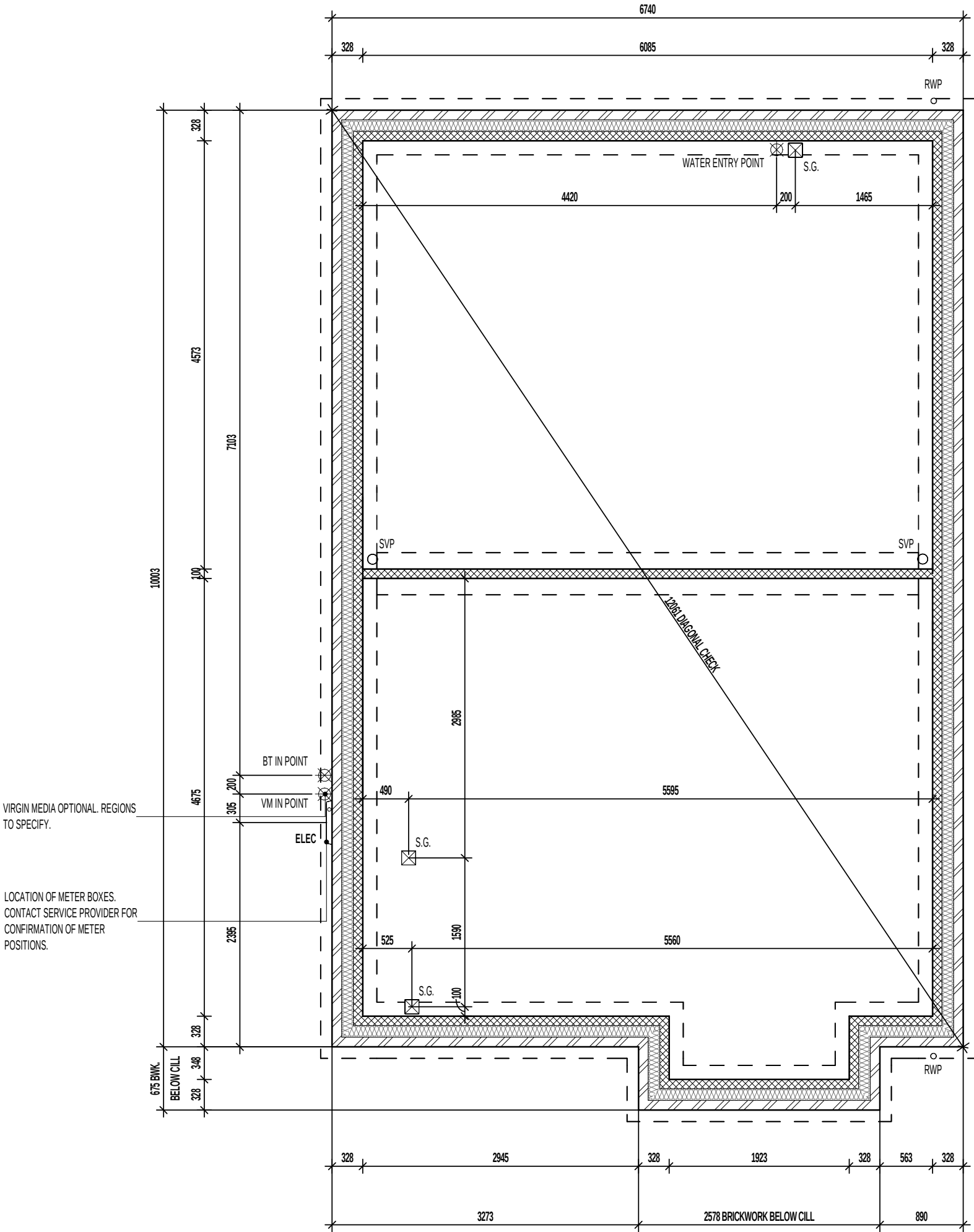
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Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
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WALL LEGEND.

- DENOTES 328MM THICK CAVITY WALL :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
- DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

GENERAL NOTE:
REFER TO DIMENSIONED G.F. PLANS FOR EXTERNAL & INTERNAL DOOR
LOCATIONS AND CROSS REFER TO ASSOCIATED STANDARD DETAILS FOR
DOOR THRESHOLD TREATMENT.



SUSPENDED SLAB FOUNDATION PLAN

REFER TO STRUCTURAL ENGINEERS CALCULATIONS FOR SUSPENDED SLAB THICKNESS AND STEELWORK SCHEDULE

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
ASHP SUSPENDED SLAB FOUNDATION PLAN

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

Revision Note:
CONSTRUCTION ISSUE

Scale	Drawn By	Date
1 : 50	M.T.	07.03.24
Drawing No.		Revision
L459107		C1

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

WALL LEGEND.

- DENOTES 328MM THICK CAVITY WALL :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6N/MM² STANDARD AIRCRETE BLOCKWORK
- DENOTES 100MM THICK LOAD BEARING PARTITION WALL :
- 100MM THICK 3.6N/MM² LIGHTWEIGHT AGGREGATE BLOCKWORK

DASHED LINES INDICATE FOUNDATIONS TO EXTERNAL & INTERNAL WALLS.
REFER TO CONSULTING ENGINEER'S DRAWINGS FOR ACTUAL SIZE & TYPE.

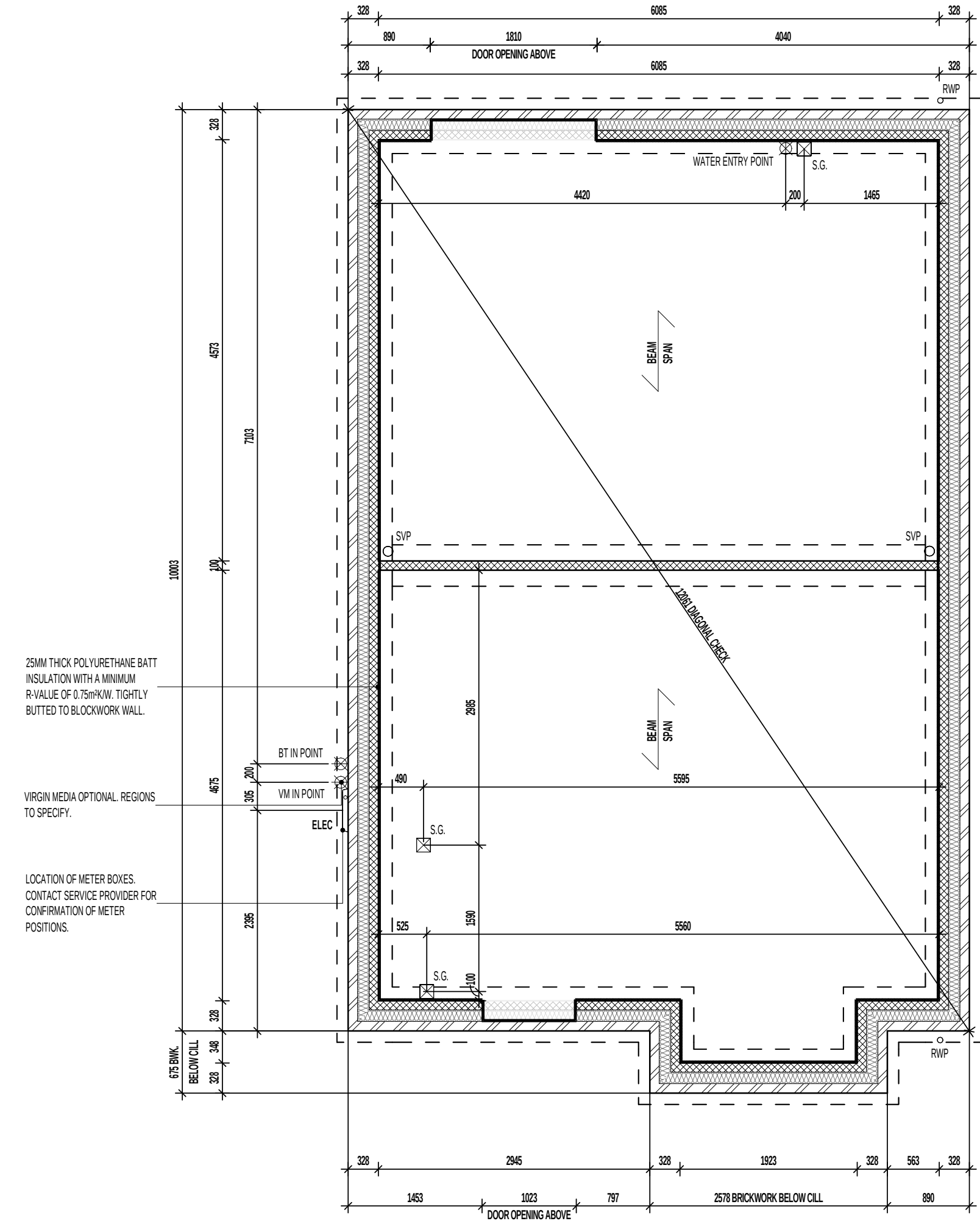
GENERAL NOTE:
REFER TO DIMENSIONED G.F. PLANS FOR EXTERNAL & INTERNAL DOOR LOCATIONS AND CROSS REFER TO ASSOCIATED STANDARD DETAILS FOR DOOR THRESHOLD TREATMENT.

BEAM & BLOCK / EPS UNDERFLOOR VOID VENTILATION

VENTILATION SHOULD BE PROVIDED TO PRECAST SUSPENDED FLOORS IN ACCORDANCE WITH CHAPTER 5.2.10 OF LATEST NHBC TECHNICAL STANDARDS .
(GENERALLY PROVIDED BY VENTILATORS ON AT LEAST TWO OPPOSITE EXTERNAL WALLS.

WHERE SLEEPER WALLS / PARTITIONS PROVIDED, THESE SHOULD BE CONSTRUCTED WITH SUFFICIENT OPENINGS TO ENSURE ADEQUATE THROUGH VENTILATION.

VOID VENTILATION SHOULD BE PROVIDED TO WHICHEVER GIVES THE GREATER OPENING AREA:
• 1500MM² PER METRE RUN OF EXTERNAL WALL
• 500MM² PER M² OF FLOOR AREA.



BEAM & EPS FOUNDATION PLAN

REFER TO MANUFACTURERS DRAWINGS FOR FURTHER INFORMATION

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
ASHP BEAM AND EPS FOUNDATION PLAN

Revision Note:
CONSTRUCTION ISSUE

Scale
1 : 50

Drawn By
M.T.

Date
07.03.24

Drawing No.
L459108

Revision
C1

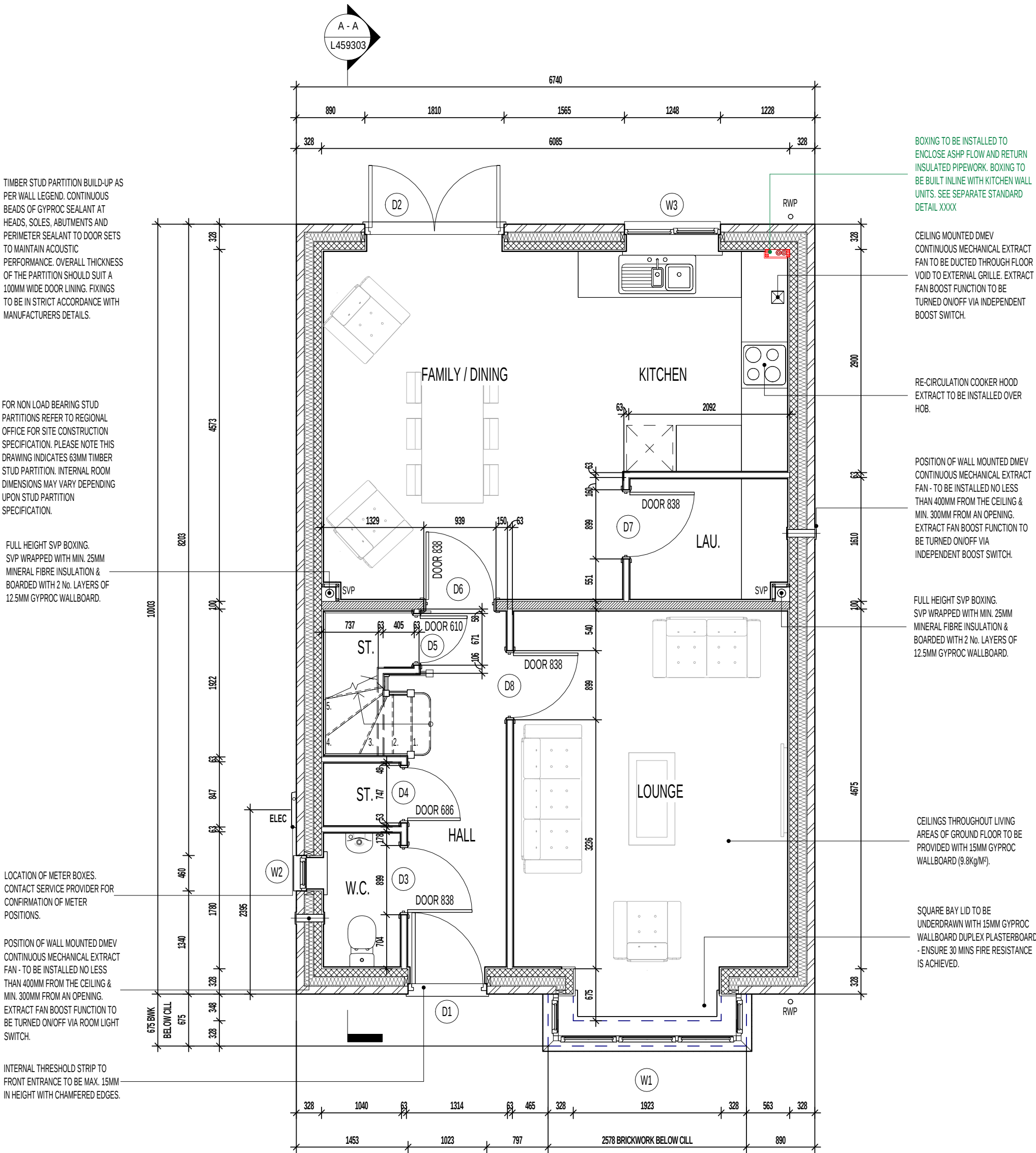
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Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
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WALL LEGEND.

- DENOTES 353MM THICK CAVITY WALL :
- 102.5MM FACING BRICKWORK
 - 125MM WIDE INSULATED CAVITY
 - 100MM THICK 3.6NMM² STANDARD AIRCRETE BLOCKWORK
 - 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH
- DENOTES 93MM THICK NON LOAD BEARING PARTITION WALL :
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
 - 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
 - 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
 - 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
 - NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD
- DENOTES 350MM THICK PARTY WALL :
- 12.5MM GYPROC WALLBOARD DRYLINING ON DABS WITH NOMINAL SKIM FINISH
 - 100MM THICK 3.6NMM² LIGHTWEIGHT AGGREGATE CONCRETE BLOCKWORK
 - 100MM WIDE INSULATED CAVITY
 - 100MM THICK 3.6NMM² LIGHTWEIGHT AGGREGATE CONCRETE BLOCKWORK
 - 12.5MM GYPROC WALLBOARD DRYLINING ON DABS WITH NOMINAL SKIM FINISH
 - NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD

ELEVATIONAL TREATMENT-

- REFER TO RELEVANT HOUSE TYPE ELEVATIONS FOR ELEVATIONAL TREATMENT AND EXTENT OF ALTERNATIVE EXTERNAL WALL CONSTRUCTION.
- 370MM THICK BLOCKWORK CAVITY WALL CONSTRUCTION:
SEE ELEVATIONS FOR EXTERNAL WALL FINISH & LOCATIONS
- EXTERNAL WALL FINISHES: MIN. 20MM WEBER MONOCOUCHE RENDER APPLIED TO SUBSTRATE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.
- 100MM THICK 3.6NMM² LIGHTWEIGHT AGGREGATE BLOCKWORK.
 - 125MM WIDE INSULATED CAVITY.
 - 100MM THICK 3.6NMM² STANDARD AIRCRETE BLOCKWORK.
 - 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH.
- VERTICAL MOVEMENT JOINT TO BE INSTALLED AT JUNCTIONS BETWEEN BRICKWORK AND BLOCKWORK EXTERNAL SKIN. REFER TO ELEVATIONS FOR LOCATIONS.



GROUND FLOOR PLAN

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
ASHP GROUND FLOOR PLAN

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459211

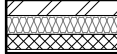
Revision

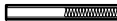
C1

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
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ORIGINAL SHEET SIZE A2 - DO NOT SCALE FROM THIS DRAWING

WALL LEGEND.

- 

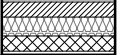
DENOTES 353MM THICK CAVITY WALL :
- 102.5MM FACING BRICKWORK
- 125MM WIDE INSULATED CAVITY
- 100MM THICK 3.6NMM² STANDARD AIRCRETE BLOCKWORK
- 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH
- 

DENOTES 93MM THICK NON-LOAD BEARING PARTITION WALL :
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
- 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.
- 

DENOTES 105MM THICK STRUCTURAL RACKING WALL :
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- 12MM PLYWOOD SHEATHING (TO BED 2 & BATH SIDE ONLY)
- 63 X 38MM TIMBER STUDWORK AT 600MM CTRS.
- 50MM ISOWOOL APR 1200 INSULATION WHERE INDICATED ON PLANS
- 12.5MM GYPROC WALLBOARD WITH NOMINAL SKIM FINISH
- NOTE: WET AREAS TO RECEIVE 12.5MM GYPROC MOISTURE RESISTANT PLASTERBOARD.
- NOTE: END STUDS FIXED TO BLOCKWORK WITH RESIN ANCHORS @MAX 450MM VERTICAL CENTRES.

ELEVATIONAL TREATMENT-

REFER TO RELEVANT HOUSE TYPE ELEVATIONS FOR ELEVATIONAL TREATMENT AND EXTENT OF ALTERNATIVE EXTERNAL WALL CONSTRUCTION.

- 

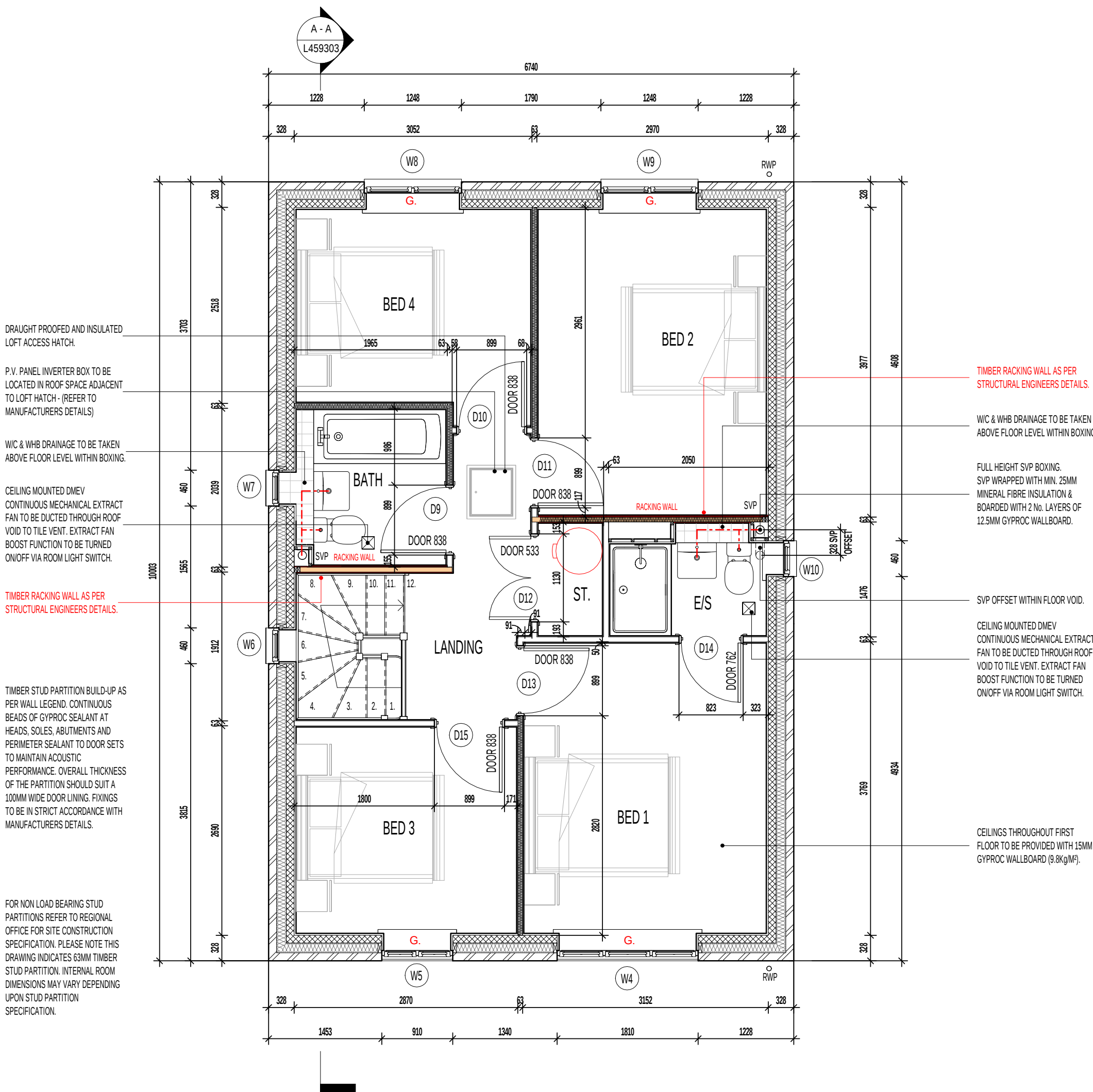
370MM THICK BLOCKWORK CAVITY WALL CONSTRUCTION:
SEE ELEVATIONS FOR EXTERNAL WALL FINISH & LOCATIONS
- EXTERNAL WALL FINISHES: MIN. 20MM WEBER MONOCOUCHE RENDER APPLIED TO SUBSTRATE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.
- 100MM THICK 3.6NMM² LIGHTWEIGHT AGGREGATE BLOCKWORK.
- 125MM WIDE INSULATED CAVITY.
- 100MM THICK 3.6NMM² STANDARD AIRCRETE BLOCKWORK.
- 12.5MM PLASTERBOARD ON 10MM DABS WITH SKIM FINISH.

VERTICAL MOVEMENT JOINT TO BE INSTALLED AT JUNCTIONS BETWEEN BRICKWORK AND BLOCKWORK EXTERNAL SKIN. REFER TO ELEVATIONS FOR LOCATIONS.

ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS:-

ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

- G. GUARDING TO BE PROVIDED AT 1100MM FROM FFL.
NOTE: GUARDING MAY BE OMITTED IF BUILD TOLERANCE TO WINDOW OPENING IS WITHIN A RANGE OF MAXIMUM 1100MM AND MINIMUM 1000MM.



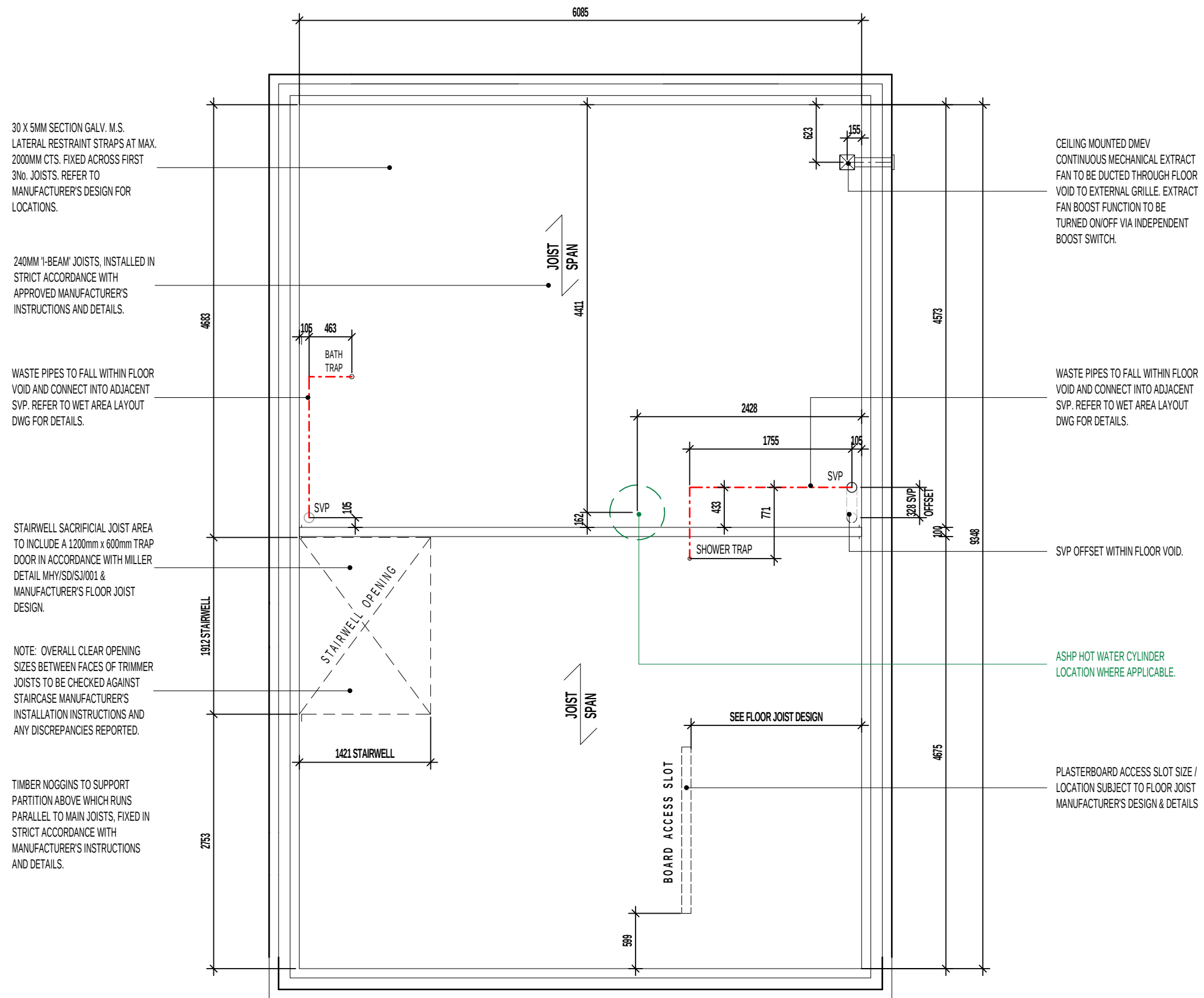
Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP FIRST FLOOR PLAN

Revision Note: CONSTRUCTION ISSUE		
Scale 1 : 50	Drawn By M.T.	Date 07.03.24
Drawing No. L459212	Revision C1	



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2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
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INDICATIVE FLOOR JOISTS LAYOUT

REFER TO MANUFACTURERS DRAWINGS FOR FURTHER INFORMATION

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
INDICATIVE FLOOR JOISTS LAYOUT

Revision Note:
CONSTRUCTION ISSUE

Scale	Drawn By	Date
1 : 50	M.T.	07.03.24
Drawing No.		Revision
L459301		C1

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2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
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DENOTES 1450 X 150 X 30 X 5MM
GALV. M.S. RESTRAINT STRAPS AT
MAX. 2000MM CTS TO BE INSTALLED
IN ACCORDANCE WITH TRUSS
MANUFACTURERS DESIGN.

P.V. PANEL INVERTER BOX TO BE
LOCATED IN ROOF SPACE ADJACENT
TO LOFT HATCH - (REFER TO
MANUFACTURERS DETAILS)

REFER TO ROOF TRUSS
MANUFACTURER'S LAYOUT & DESIGN
FOR EXACT ROOF PROFILES /
CENTRES ETC..

65 X 100MM TIMBER WALLPLATE ON
10MM MORTAR BED.

FLOOR CONSTRUCTION TO ACHIEVE
MINIMUM 40dB AND 30 MIN. FIRE
RESISTANCE TO ALL FLOORS: 22MM
CHIPBOARD FLOORING PROVIDING A
MIN. MASS 15kg/M². 240MM 'I BEAM'
JOIST SPACED AT NO LESS THAN
400MM CENTRES. REFER TO
MANUFACTURER'S DETAILS FOR
CONFIRMATION. 15MM
PLASTERBOARD CEILING FINISH
PROVIDING A MASS 9.8kg/M².

GROUND FLOOR SLAB TO RECEIVE
125MM INSULATION WITH A THERMAL
CONDUCTIVITY OF 0.022W/mK TO
ENSURE A MINIMUM AREA WEIGHTED
'U' VALUE OF 0.14W/m²K IS ACHIEVED.

CONCRETE FOUNDATIONS TO BE
STRICTLY IN ACCORDANCE WITH
STRUCTURAL ENGINEER'S DESIGN
SPECIFICATION & DETAILS

COLD ROOF CONSTRUCTION DETAILS: - (IN ACCORDANCE WITH NHBC STANDARDS 7.2.15)

- ROOF UNDERLAY = VAPOUR IMPERMEABLE (TYPE HR)

VENTILATION PROVISION:

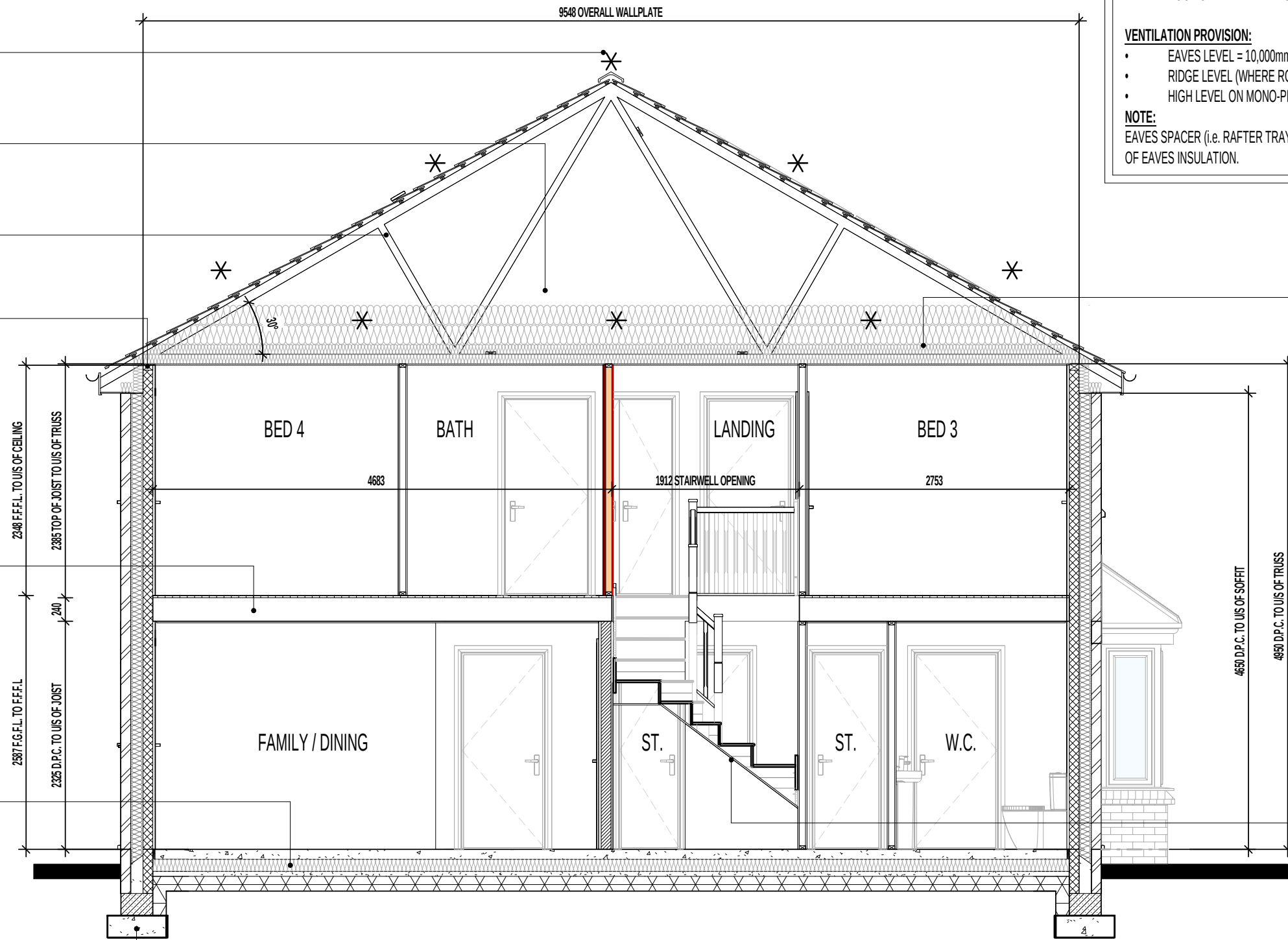
- EAVES LEVEL = 10,000mm²/m RUN
- RIDGE LEVEL (WHERE ROOF PITCH IS 35° OR ABOVE OR EXCEEDS 10M CLEAR SPAN) = 5,000mm²/m RUN
- HIGH LEVEL ON MONO-PITCH (LEAN-TO) ROOFS = 5,000mm²/m RUN

NOTE:

EAVES SPACER (i.e. RAFTER TRAY) TO BE INSTALLED TO MAINTAIN 25MM CLEAR AIRWAY OVER FULL LENGTH OF EAVES INSULATION.

ROOF INSULATION TO BE GLASS
FIBRE QUILT TO ROOF SPACE.
OVERALL 600MM - 100MM LAID
BETWEEN CEILING JOISTS WITH 1
LAYER OF 100MM AND 2No. LAYER OF
200MM CROSS LAID TO ACHIEVE A
U-VALUE OF 0.07 W/m²K (THERMAL
CONDUCTIVITY 0.044W/mK).

CEILING TO UNDERSIDE OF
STAIRCASE TO RECEIVE 1No. LAYER
OF 15MM GYPROC WALLBOARD
(9.8kg/M²).



SECTION A-A

FOUNDATIONS ARE INDICATIVE ONLY AND STRUCTURAL ENGINEERS DETAILS SHOULD BE READ IN CONJUNCTION WITH THIS DRAWING.

Revision Note:

ROOF VENTILATION LEGEND ADDED.

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459303

Revision

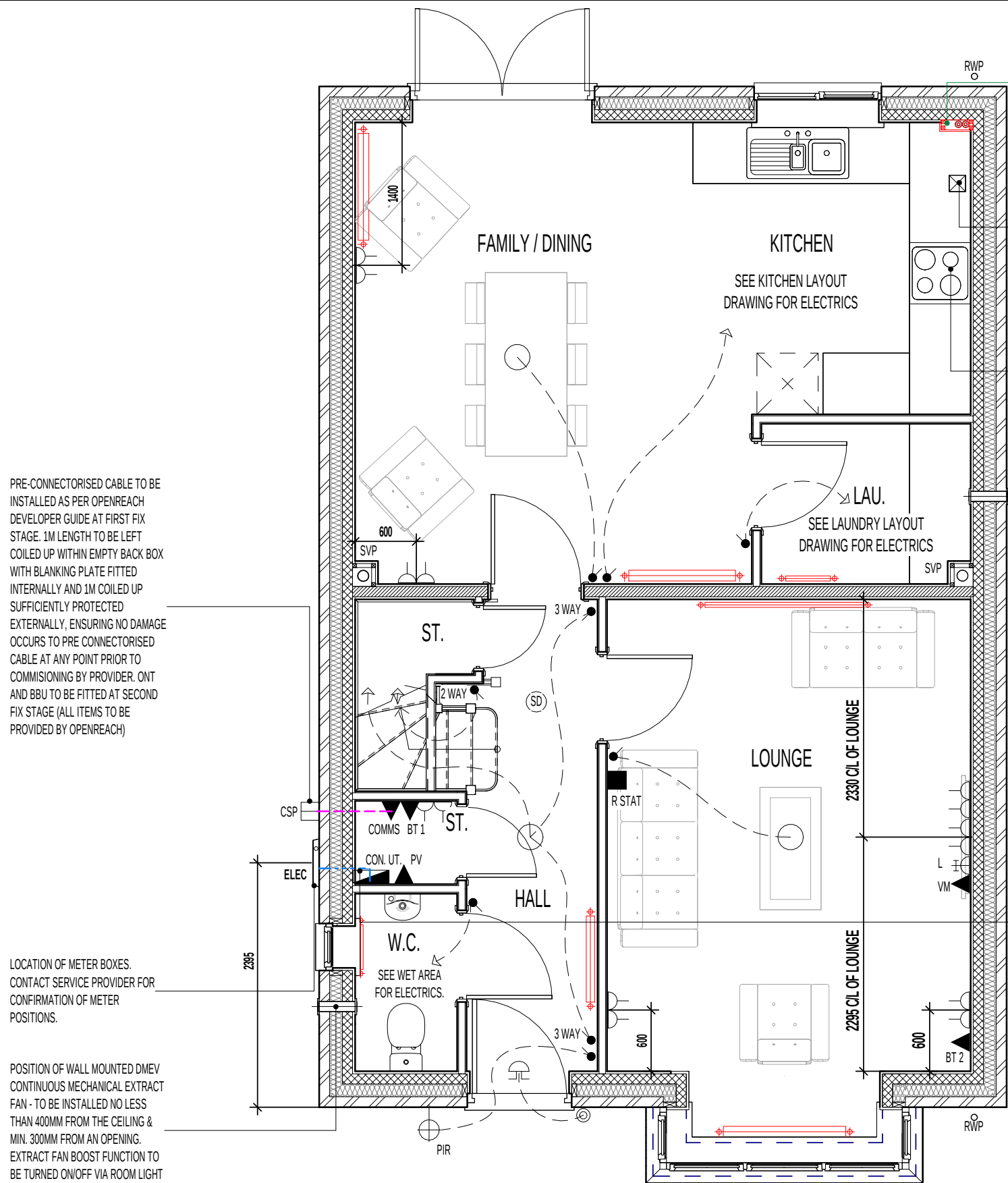
C2

Project Title

LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title

SECTION A-A



BOXING TO BE INSTALLED TO ENCLOSE ASHP FLOW AND RETURN INSULATED PIPEWORK. BOXING TO BE BUILT INLINE WITH KITCHEN WALL UNITS. SEE SEPARATE STANDARD DETAIL XXXX

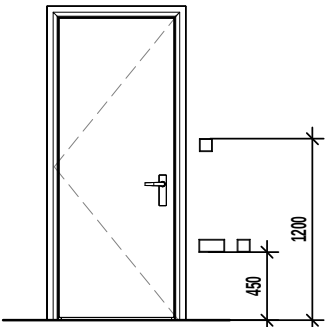
CEILING MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN TO BE DUCTED THROUGH FLOOR VOID TO EXTERNAL GRILLE. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA INDEPENDENT BOOST SWITCH.

RE-CIRCULATION COOKER HOOD EXTRACT TO BE INSTALLED OVER HOB.

POSITION OF WALL MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN - TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA INDEPENDENT BOOST SWITCH.

DOT/DASH LINE INDICATES APPROXIMATE ROUTE OF 25MM METER TAIL CABLE TO RUN DIRECTLY TO CONSUMER UNIT FROM METER BOX. CABLE TO BE MECHANICALLY PROTECTED USING A THICKER PLATE SHEATHING AND NO LONGER THAN 15M IN LENGTH. CABLE TO TAKE SHORTEST POSSIBLE ROUTE.

PART M4 (1) ~ ACCESSIBLE CONTROLS



- SWITCHES AND SOCKETS
- TV & TELEPHONE POINTS
- DOORBELLS & ENTRY PHONES

ELECTRICAL LEGEND.

P.I.R.	WALL MOUNTED LIGHT FITTING WITH P.I.R.
	PENDANT CEILING MOUNTED LOW ENERGY LIGHT.
SD	CEILING MOUNTED SMOKE DETECTOR.
CO	CEILING MOUNTED CARBON MONOXIDE DETECTOR.
	LIGHT SWITCH.
2 WAY	2 WAY LIGHT SWITCH.
3 WAY	3 WAY LIGHT SWITCH.
	DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL).
L	LOUNGE COMMUNICATION PLATE TO CONSIST OF : - CO-AXIAL (FEMALE SCREENED) MODULE - SATELLITE (FEMALE SCREENED) MODULE - BT 3
BT 1	BT POINT (ROUTER POSITION) - DAISY CHAIN LINKED TO BT 2
BT 2	BT POINT (TELEPHONE POSITION) - DAISY CHAIN LINKED TO BT 3 (LOUNGE PLATE).
VM	VIRGIN MEDIA - PLEASE CHECK WITH SALES ADVISOR FOR AVAILABILITY.
COMMS	FIBRE NETWORK INSTALLATION TERMINATION POINT - (EQUIPMENT AS SUPPLIED BY RELEVANT PROVIDER). REFER TO SEPARATE STANDARD DETAIL SV-GD-EN-008
CSP	EXTERNAL CUSTOMER SPLICE POINT LOCATION. (SUPPLIED BY PROVIDER)
	DMEV CEILING MOUNTED EXTRACT FAN.
	DMEV WALL MOUNTED EXTRACT FAN.
	DOOR CHIME.
	BELL PUSH.
R STAT	ROOM STAT.
CON.	CONSUMER UNIT. (SWITCHES TO BE 1350MM TO 1450MM FROM FFL).
	BOILER FUSED SPUR
	RADIATOR.
PV	P.V. INVERTER ISOLATION SWITCH & PV GENERATION METER TO SPECIALISTS DETAILS.

GROUND FLOOR PLAN

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP GROUND FLOOR ELECTRICAL PLAN

Revision Note:

GAS METER REMOVED, ASHP FLOW AND RETURN BOXING ADDED TO KITCHEN, ONT REPLACED WITH COMMS POINT & LEGEND UPDATED TO SUIT.

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459514

Revision

C2

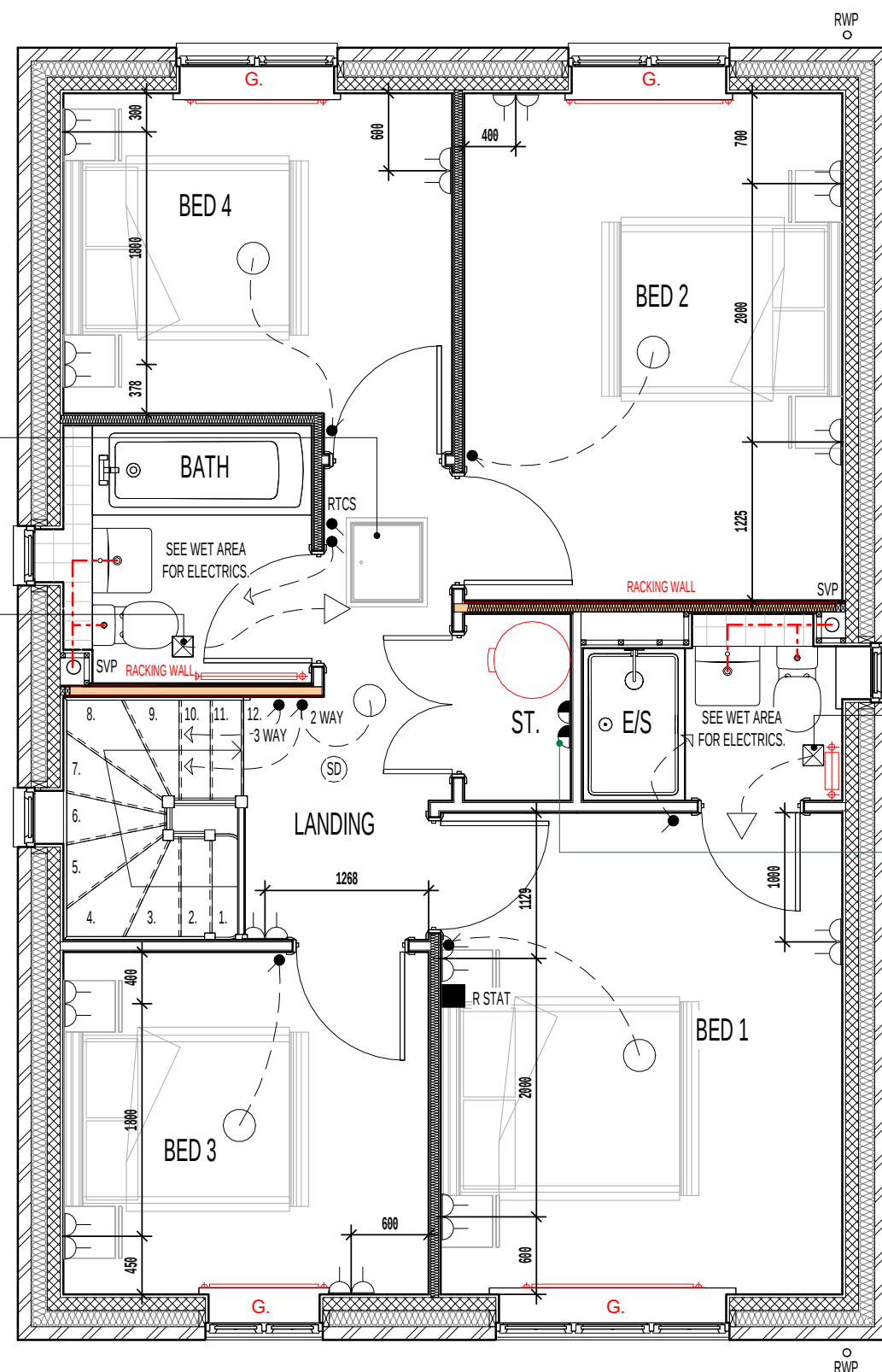
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Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING



FIRST FLOOR PLAN

PART M4 (1) ~ ACCESSIBLE CONTROLS

- SWITCHES AND SOCKETS
- TV & TELEPHONE POINTS
- DOORBELLS & ENTRY PHONES

G. GUARDING TO BE PROVIDED AT 1100MM FROM FFL. NOTE: GUARDING MAY BE OMITTED IF BUILD TOLERANCE TO WINDOW OPENING IS WITHIN A RANGE OF MAXIMUM 1100MM AND MINIMUM 1000MM.

ELECTRICAL LEGEND.	
	PENDANT CEILING MOUNTED LOW ENERGY LIGHT.
	CEILING MOUNTED SMOKE DETECTOR.
	LIGHT SWITCH.
	2 WAY LIGHT SWITCH.
	3 WAY LIGHT SWITCH.
	DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL).
	RADIATOR.
	SHOWER FITTING.
	ISOLATOR SWITCH HIGH LEVEL.
	DMEV CEILING EXTRACT FAN.
	ROOM STAT.
	RADIOFREQUENCY TEST & CONTROL SWITCH. (RADIO-LINKED TO MULTI SENSOR SMOKE & HEAT ALARM INSTALLED IN THE LOFT SPACE)
	FUSED SPUR.

ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS:-
ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

Revision Note:
BED 1 MIXED FLOW MECHANICAL EXTRACT FAN OMITTED IN ACCORDANCE WITH UPDATED DYNAMIC THERMAL MODELLING REPORT.

Project Title

LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title

ASHP FIRST FLOOR ELECTRICAL PLAN

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459515

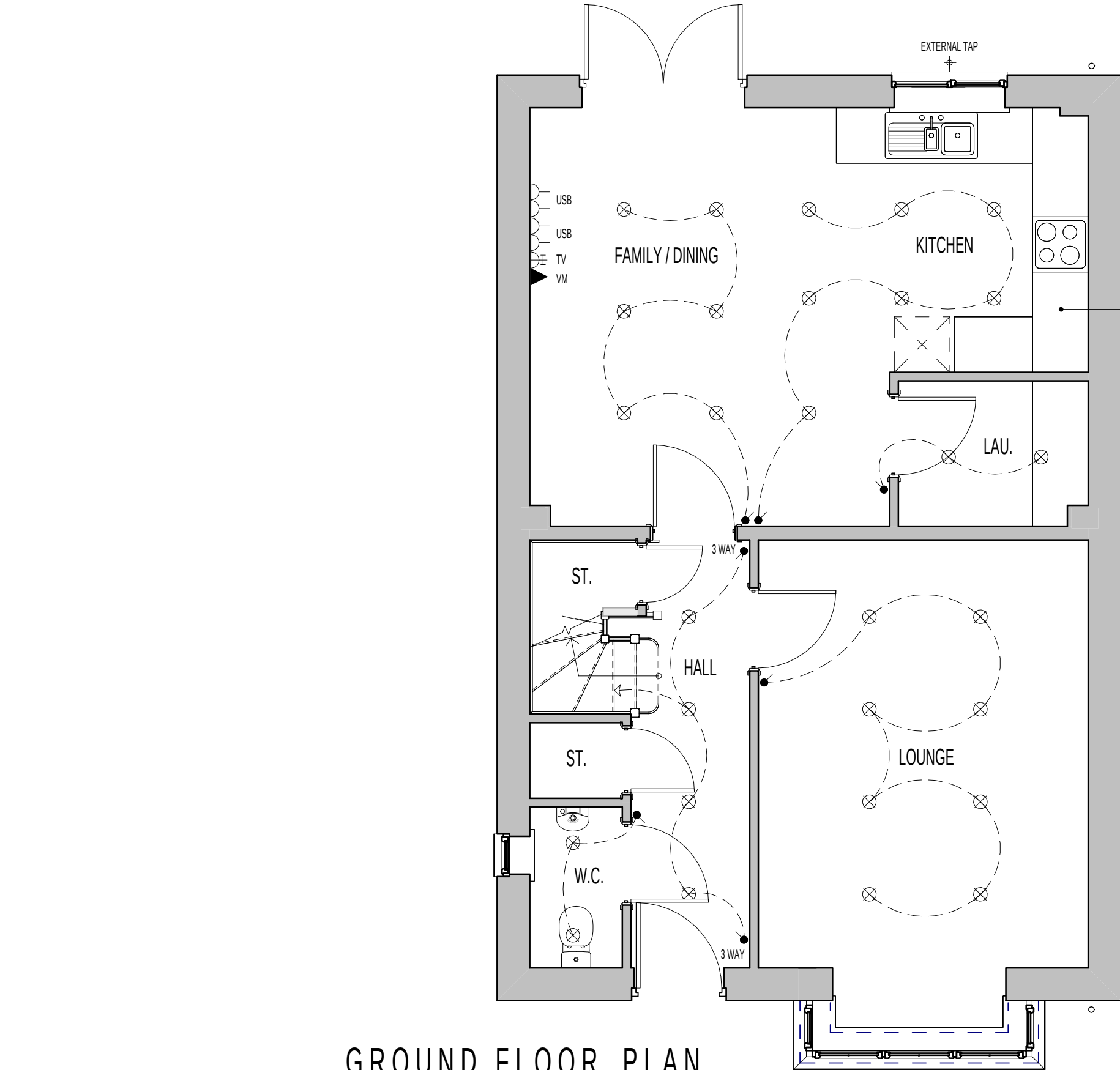
Revision

C2

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

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Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING



ELECTRICAL LEGEND.	
	LED DOWNLIGHTER. (IP65 RATED WHERE INDICATED).
	TV AERIAL SOCKET.
	VIRGIN MEDIA - PLEASE CHECK WITH SALES ADVISOR FOR AVAILABILITY.
	DOUBLE SWITCHED SOCKET OUTLET WITH USB CHARGING POINT (LOW LEVEL).
	EXTERNAL TAP

- DOWNLIGHTER NOTES.**
- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.
 - THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.
 - THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

OPTIONAL - TILING LEGEND.
NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT. SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.
HALF AND FULL HEIGHT TILING OPTIONS AVAILABLE TO W.C. BATHROOM AND ENSUITES.

GROUND FLOOR PLAN

Revision Note:
CONSTRUCTION ISSUE

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP GROUND FLOOR CUSTOMER OPTIONS

Scale	Drawn By	Date
1 : 50	M.T.	07.03.24
Drawing No.		Revision
L459516		C1

Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

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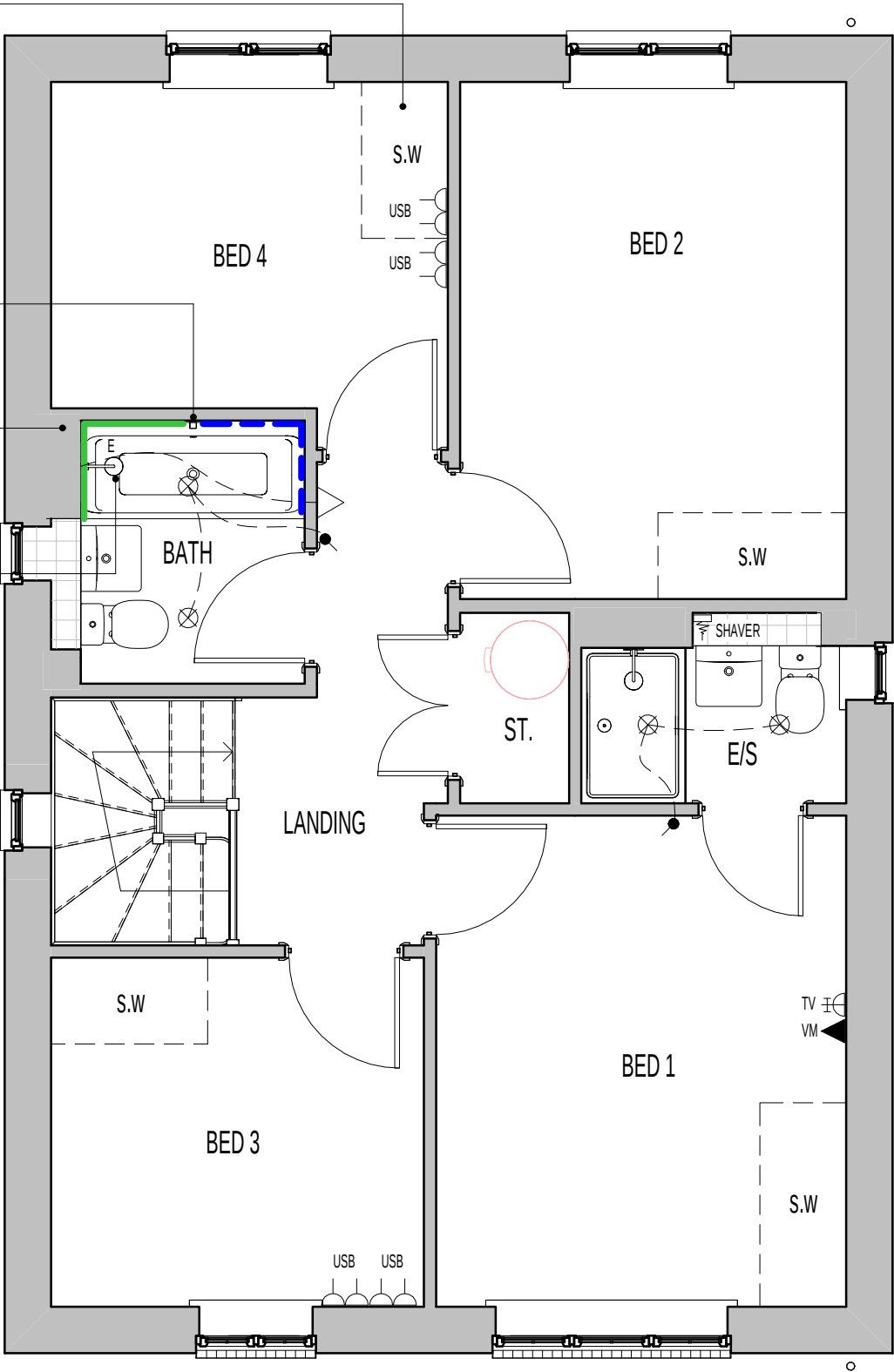
ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

NB - IF WARDROBE OPTION
INSTALLED, WORK-ZONE ELECTRICAL
SOCKETS TO BE RELOCATED WHERE
NECESSARY WITHIN ROOM. (REFER
TO ELECTRICAL LAYOUT)

CONCEALED THERMOSTATIC VALVE
WITH WALL MOUNTED CONTROL UNIT
FOR BATH FILLER WASTE AND
OVERFLOW. (WHERE DOUBLE ENDED
BATH INSTALLED)

FULL HEIGHT BOXING TO BE MADE
USING 38MM X 38MM TIMBER STUDS.
ONLY APPLICABLE WHEN OPTIONAL
SHOWER SELECTED.

ELECTRIC SHOWER OVER BATH
INDICATED. THERMOSTATIC SHOWER
OPTION AVAILABLE BOTH WITH WALL
TILING INCREASED TO FULL HEIGHT
AROUND HALF THE BATH WITH
SHOWER SCREEN.



FIRST FLOOR PLAN.

ELECTRICAL LEGEND.

	DOUBLE-POLE ISOLATING SWITCH, RATING TO SUIT APPLIANCE INSTALLED. WALL MOUNTED IN ACCORDANCE WITH IEE REGULATIONS
	ELECTRIC SHOWER FITTING OVER BATH.
	TV AERIAL SOCKET.
	VIRGIN MEDIA - PLEASE CHECK WITH SALES ADVISOR FOR AVAILABILITY.
	DOUBLE SWITCHED SOCKET OUTLET WITH USB CHARGING POINT (LOW LEVEL).
	SHAVER SOCKET.

OPTIONAL - TILING LEGEND.

NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT.
SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.

	DENOTES EXTENT OF FULL HEIGHT TILING. (WHERE SHOWER OPTION CHOSEN)
	DENOTES EXTENT OF 400MM HEIGHT OVER BATH TILING.

HALF AND FULL HEIGHT TILING OPTIONS AVAILABLE TO W.C. BATHROOM AND ENSUITES.

PLAN LEGEND.

S.W. SLIDING WARDROBE.
- CHECK WITH SALES ADVISOR FOR STYLE AND AVAILABILITY.

DOWNLIGHTER NOTES.

- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING
IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.

- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM,
CENTRE-TO-CENTRE.

- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS
SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP FIRST FLOOR CUSTOMER OPTIONS

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459517

Revision

C1

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

TILING LEGEND.

NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT.
SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.

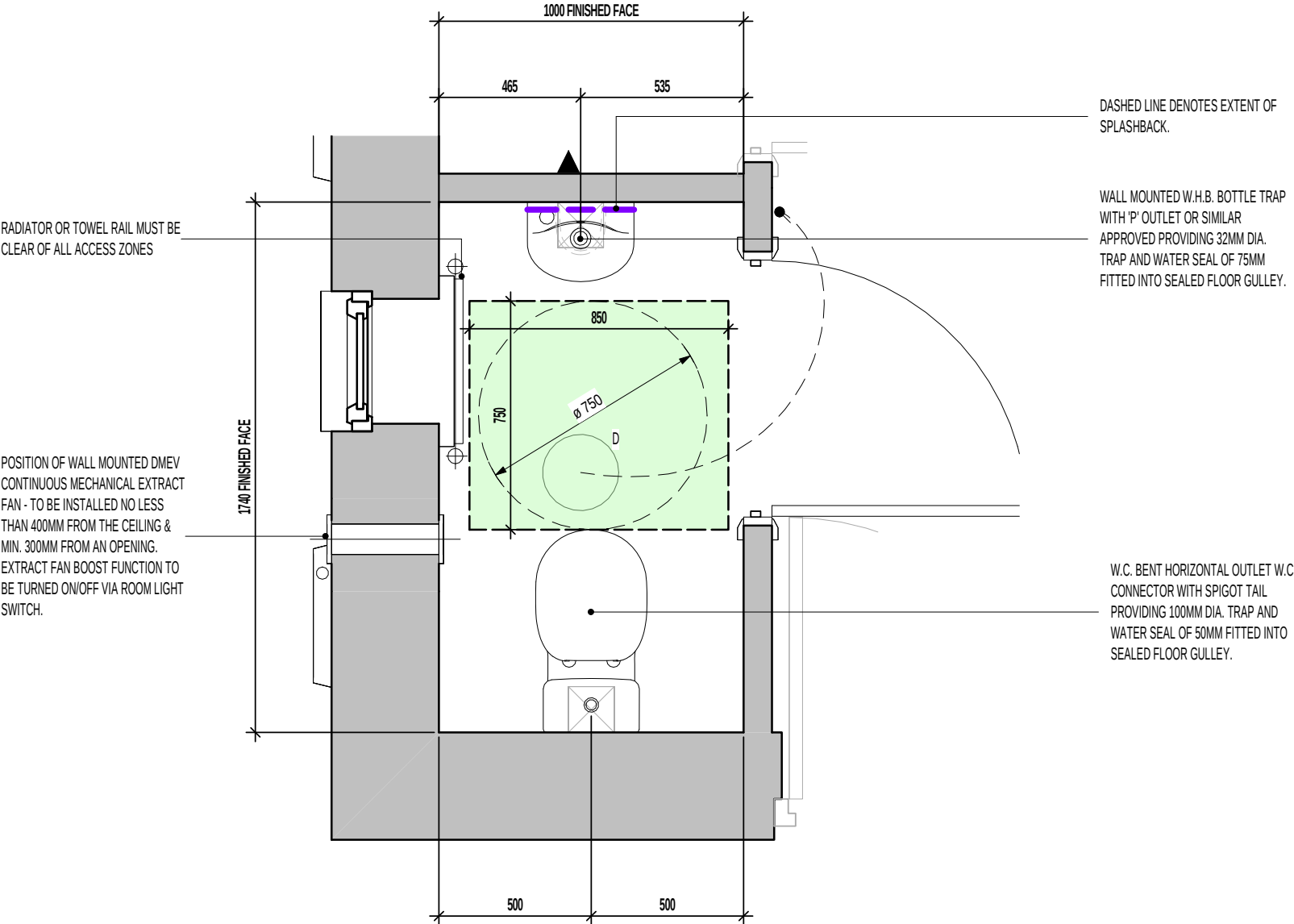
DASHED LINE DENOTES EXTENT OF 1 ROW TILED SPLASHBACK.

ELECTRICAL LEGEND.

D	DRUM LOW ENERGY LIGHT.
●	LIGHT SWITCH.
⎓	DMEV WALL MOUNTED EXTRACT FAN.
⊠	DMEV CEILING MOUNTED EXTRACT FAN.
⎓⎓⎓	RADIATOR.
△	ISOLATOR SWITCH HIGH LEVEL.

SANITARYWARE SCHEDULE - W.C.

LOCATION	ITEM	SIZE
W.C.	350 WHB RH TAP & FULL PEDESTAL	350mm x 262mm
W.C.	WC PAN & CISTERN	360mm x 660mm



W.C. LAYOUT.
SCALE : 1:20

FOR ALTERNATIVE LED DOWNLIGHTER LOCATIONS, REFER TO CUSTOMER OPTIONS LAYOUT

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
W.C. LAYOUT

Revision Note:
CONSTRUCTION ISSUE

Scale	Drawn By	Date
As indicated	M.T.	07.03.24
Drawing No.	Revision	
L459601	C1	

millershomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

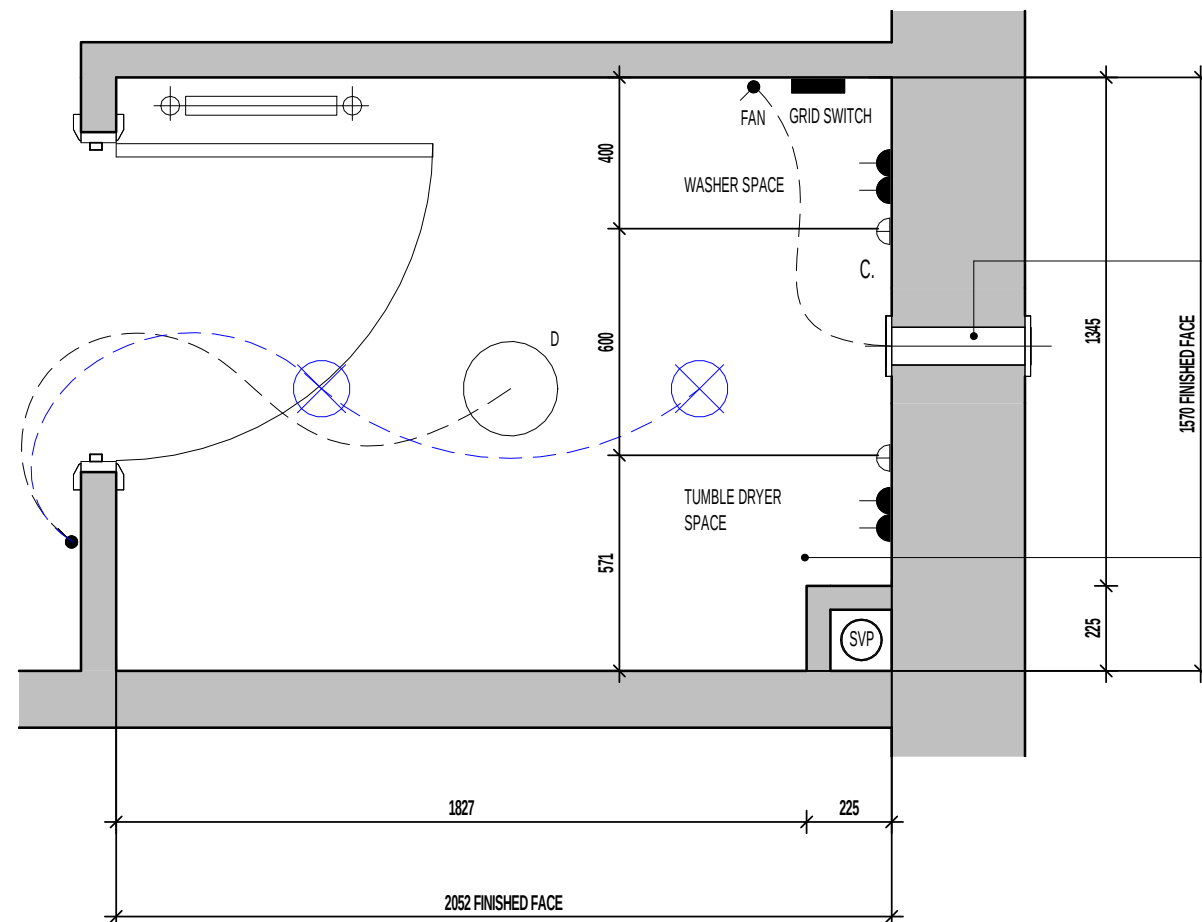
- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.

- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.

- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

ITEMS HIGHLIGHTED IN BLUE DENOTE CUSTOMER OPTIONS.

- WHERE APPLIANCE SPACES SHOWN, INTEGRATED APPLIANCES AVAILABLE
- 20MM WORKTOP AVAILABLE
- DOWNLIGHTER SPOTLIGHTS AVAILABLE - LOCATIONS AND QUANTITY INDICATED
PRODUCT VARIATIONS AVAILABLE, DISCUSS OPTIONS WITH SALES MANAGER.



POSITION OF WALL MOUNTED DMEV
CONTINUOUS MECHANICAL EXTRACT
FAN - TO BE INSTALLED NO LESS
THAN 400MM FROM THE CEILING &
MIN. 300MM FROM AN OPENING.
EXTRACT FAN BOOST FUNCTION TO
BE TURNED ON/OFF VIA
INDEPENDENT BOOST SWITCH.

GRIDSWITCH TO SERVE:

- WASHING MACHINE SPACE
- TUMBLE DRYER SPACE
- EXTRACT FAN

40MM WORKTOP WITH 95MM POST
FORMED UPSTAND.

	DRUM LOW ENERGY LIGHT.
	LED DOWNLIGHTERS (CUSTOMER OPTION).
	DMEV FAN INDEPENDENT BOOSTER SWITCH
	DMEV WALL MOUNTED EXTRACT FAN.
	LIGHT SWITCH
	PRE-PRINTED ROCKERS TO GRIDSWITCH BANK.
	13AMP DOUBLE SWITCHED SOCKET. (1200MM ABOVE FLOOR TO UIS SOCKET)
	13AMP UNSWITCHED SINGLE SOCKET FOR APPLIANCES - 450MM ABOVE FLOOR TO UIS SOCKET
C.	COLD WATER FEEDS.
	RADIATOR.

LAUNDRY LAYOUT

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE L459 - 4B / 8P / 1222 - GLENWOOD 2021 UPLIFT SPECIFICATION

Drawing Title
LAUNDRY LAYOUT

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 20

Drawn By

	M.T.
--	------

Date _____

07.03.24

Drawing No.

L459603

Revision

C1

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

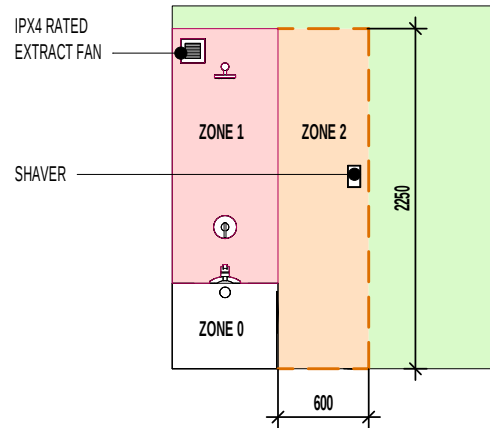
ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM. DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING.

TILING LEGEND. NB: TILING SUBSTRATE / TANKING PROVISION TO BE IN ACCORDANCE WITH STANDARD DETAIL REF: - GEN-GD-EN-006

NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT. SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.

- DENOTES EXTENT OF 400MM HEIGHT OVER BATH TILING.
- DENOTES EXTENT OF 1 ROW TILED SPLASHBACK.



ELECTRICAL LEGEND.

	DRUM LOW ENERGY LIGHT.
	LIGHT SWITCH.
	RADIATOR.
	ISOLATOR SWITCH HIGH LEVEL.
	DMEV CEILING EXTRACT FAN.

ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS:-

ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED AS PER MANUFACTURERS RECOMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

SANITARYWARE SCHEDULE - BATHROOM

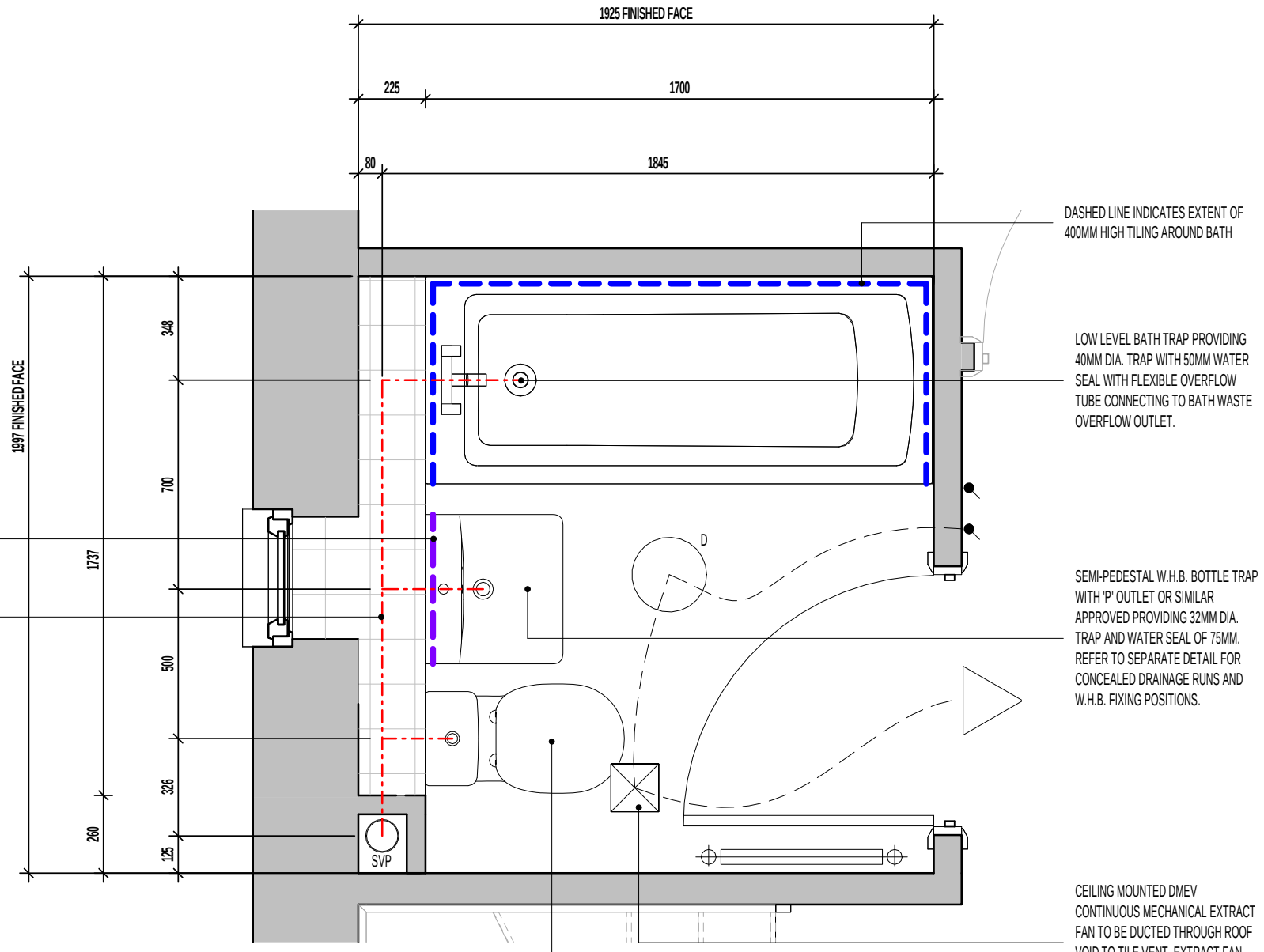
LOCATION	ITEM	SIZE
BATH	500 SEMI PEDESTAL WHB	500mm x 460mm
BATH	SINGLE ENDED BATH	1700mm x 700mm
BATH	WC PAN & CISTERN	360mm x 660mm

DASHED LINE DENOTES EXTENT OF SPLASHBACK.

W/C & WHB DRAINAGE TO BE TAKEN ABOVE FLOOR LEVEL WITHIN BOXING.

W.C. BENT HORIZONTAL OUTLET W.C. CONNECTOR PROVIDING 100MM DIA. TRAP AND WATER SEAL OF 50MM OR SIMILAR APPROVED CONNECTED TO ADJACENT SVP.

BATHROOM LAYOUT.
SCALE : 1:20



Revision Note:

TILING SUBSTRATE / TANKING PROVISION DENOTED.

Scale

Drawn By

Date

As indicated

M.T.

07.03.24

Drawing No.

Revision

L459604

C2

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

FOR ALTERNATIVE LED DOWNLIGHTER LOCATIONS, REFER TO CUSTOMER OPTIONS LAYOUT

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

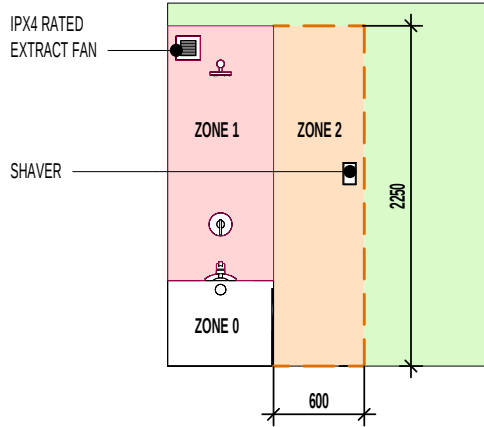
Drawing Title
BATHROOM LAYOUT

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

TILING LEGEND. NB: TILING SUBSTRATE / TANKING PROVISION TO BE IN ACCORDANCE WITH STANDARD DETAIL REF: - GEN-GD-EN-006

NOTE: TIMBER STUDS TO BE AT 400MM CENTRES WHERE WALL TILING PRESENT. SEE WET AREA DRAWINGS FOR SPECIFIC WALL TILING LOCATIONS.

- DENOTES EXTENT OF FULL HEIGHT TILING.
- DENOTES EXTENT OF 1 ROW TILED SPLASHBACK.



ELECTRICAL LEGEND.

	DRUM LOW ENERGY LIGHT.
	LIGHT SWITCH.
	RADIATOR.
	ISOLATOR SWITCH HIGH LEVEL.
	DMEV CEILING EXTRACT FAN.

ROOF TILE VENT LOCATIONS IN PROXIMITY OF P.V. PANELS:-

ENSURE THERE IS SUFFICIENT SPACE FOR TILE VENTS TO BE INSTALLED AVOIDING ALL PV PANELS WITH THE MINIMUM CLEAR DISTANCES ALLOWED AS PER MANUFACTURERS RECOMMENDATIONS. IF ROOF SPACE IS LIMITED THEN DMEV WALL FANS TO BE INSTALLED NO LESS THAN 400MM FROM THE CEILING & MIN. 300MM FROM AN OPENING.

SANITARYWARE SCHEDULE - EN SUITE

LOCATION	ITEM	SIZE
E/S	WC PAN & CISTERN	360mm x 660mm
E/S	500 SEMI PEDESTAL WHB	500mm x 460mm
E/S	IS SIMPLICITY SHOWER TRAY - L5119	1210mm x 810mm

SEMI-PEDESTAL W.H.B. BOTTLE TRAP WITH 'P' OUTLET OR SIMILAR APPROVED PROVIDING 32MM DIA. TRAP AND WATER SEAL OF 75MM. REFER TO SEPARATE DETAIL FOR CONCEALED DRAINAGE RUNS AND W.H.B. FIXING POSITIONS.

SHOWER TUBULAR SWIVEL TRAP OR SIMILAR APPROVED PROVIDING 40MM DIA. TRAP WITH 50MM WATER SEAL CONNECTED TO HEAD OF WWHRS.

SOLID LINE INDICATES EXTENT OF FULL HEIGHT TILING.

EN SUITE LAYOUT
SCALE : 1:20

FOR ALTERNATIVE LED DOWNLIGHTER LOCATIONS, REFER TO CUSTOMER OPTIONS LAYOUT

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
EN SUITE LAYOUT

Revision Note:

TILING SUBSTRATE / TANKING PROVISION DENOTED.

Scale	Drawn By	Date
As indicated	M.T.	07.03.24
Drawing No.	Revision	
L459605	C2	

millershomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

DOWNLIGHTER NOTES.

- THE NUMBER OF DOWNLIGHTS INCORPORATED IN THE GYPSUM BOARD CEILING IS LIMITED TO A MAXIMUM OF 2 DOWNLIGHTS PER SQUARE METRE.
- THE DISTANCE BETWEEN 2 RANDOM DOWNLIGHTS SHALL BE AT LEAST 600MM, CENTRE-TO-CENTRE.
- THE DISTANCE BETWEEN A DOWNLIGHT AND A JOINT OF THE GYPSUM BOARDS SHALL BE AT LEAST 100MM MEASURED FROM THE CENTRE OF THE DOWNLIGHT.

CUSTOMER OPTIONS.

ITEMS HIGHLIGHTED IN BLUE DENOTE CUSTOMER OPTIONS.

- WHERE APPLIANCE SPACES SHOWN, INTEGRATED APPLIANCES AVAILABLE
- 22MM WORKTOP AVAILABLE
- WINECOOLER AVAILABLE - LOCATION INDICATED
- DOWNLIGHTER SPOTLIGHTS AVAILABLE - LOCATIONS AND QUANTITY INDICATED
- LED UNDER UNIT LIGHT FITTING AND SWITCH.
- PLINTH LIGHTS AND SWITCH.
- INDUCTION HOB AVAILABLE.
- DOUBLE OVEN AVAILABLE
- PRODUCT VARIATIONS AVAILABLE, DISCUSS OPTIONS WITH SALES MANAGER.

NOTE 800MM BASE UNIT REDUCED TO 500MM TO ACCOMMODATE 300MM WIDE WINE COOLER - REFER TO KITCHEN SUPPLIER DRAWING FOR DETAILED LAYOUT.

CUSTOMER OPTION WINE COOLER TO BE OPERATED VIA GRIDSWITCH.

KITCHEN LAYOUT

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
ASHP KITCHEN LAYOUT

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

SOCKET-OUTLETS SUPPLYING APPLIANCES SHOULD BE POSITIONED SO THAT ANY WATER THAT MAY DRIP FROM PLUMBING OR THE EQUIPMENT IS UNLIKELY TO AFFECT THE SOCKET OUTLET. INSTALLERS MUST TAKE ACCOUNT OF MANUFACTURER'S INSTRUCTIONS.

GRIDSWITCH TO SERVE:
- DISHWASHER SPACE
- FRIDGE FREEZER SPACE
- HOB
- EXTRACT FAN
- WINE COOLER

CEILING MOUNTED DMEV CONTINUOUS MECHANICAL EXTRACT FAN TO BE DUCTED THROUGH FLOOR VOID TO EXTERNAL GRILLE. EXTRACT FAN BOOST FUNCTION TO BE TURNED ON/OFF VIA INDEPENDENT BOOST SWITCH.

RE-CIRCULATION COOKER HOOD EXTRACT TO BE INSTALLED OVER HOB.

FOR COOKER WIRING ARRANGEMENT REFER TO SEPERATE DETAIL TO SUIT CHOSEN SPECIFICATION. (SV-GD-EN-002 OR SV-GD-EN-003)

ELECTRICAL ACCESSORIES SHOULD BE INSTALLED NOT LESS THAN 300MM FROM THE EDGE OF KITCHEN SINKS AND DRAINING BOARDS.

LIGHT SWITCH FOR CUSTOMER OPTION UNDER WALL UNIT LIGHTING.

ELECTRICAL LEGEND.

	3 SPOT TRACK LIGHT.
	PRE-PRINTED ROCKERS TO GRIDSWITCH BANK.
	SWITCH WITH NEON INDICATOR LIGHT.
	DMEV FAN INDEPENDANT BOOSTER SWITCH.
	13AMP DOUBLE SWITCHED SOCKET. (1200MM ABOVE FLOOR TO U/S SOCKET)
	13AMP DOUBLE SWITCHED SOCKET WITH USB CHARGE POINT. (1200MM ABOVE FLOOR TO U/S SOCKET)
	13AMP UNSWITCHED SINGLE SOCKET FOR APPLIANCES - 450MM ABOVE FLOOR TO U/S SOCKET
	COOKER HOOD POWER. (1200MM ABOVE FLOOR TO U/S SOCKET)
	GAS FEED FOR HOB.
	45AMP COOKER CONTROL FEED. - 450MM ABOVE FLOOR TO U/S SOCKET FOR BUILT UNDER OVEN.
	HOT AND COLD WATER FEEDS.
	RADIATOR
	DMEV CEILING MOUNTED EXTRACT FAN.
	LED DOWNLIGHTERS (CUSTOMER OPTION).
	UNDER WALL UNIT LED LIGHT FITTING (CUSTOMER OPTION).
	13 AMP UNSWITCHED SINGLE SOCKET (CUSTOMER OPTION WINE COOLER).

HATCH INDICATES ZONES WHERE NO ELECTRICAL FITTINGS SHOULD BE INSTALLED ABOVE THE WORKTOP.

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 20

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459612

Revision

C1

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

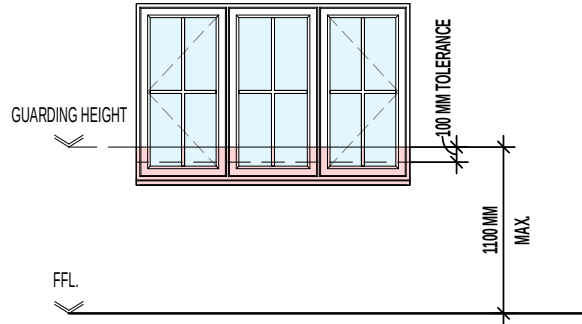
ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

MILLER STANDARD WINDOW SCHEDULE																					
	LOCATION	WIDTH (mm)	HEIGHT (mm)	SIDE HUNG	TOP HUNG	NON-OPENING CASEMENTS	GLAZING STYLE	GLAZING PATTERN	EGRESS WINDOW	TOUGHENED SAFETY GLASS	RESTRICTOR	GUARDING	BS PAS 24	CILL TYPE	VENTILATOR EA (mm2)	OPTIONAL	COMMENTS				
W1	LOUNGE	1923	1500	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATION	CLEAR LOW - E					Yes	SEE WORKING DRAWING ELEVATION	4000 mm²						
W2	W.C.	460	1050	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	OBSCURE LOW - E					Yes	SEE WORKING DRAWING ELEVATIONS	0 mm²						
W3	KITCHEN	1248	1050	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E					Yes	SEE WORKING DRAWING ELEVATIONS	0 mm²						
W4	BED 1	1810	1125	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E					Yes	Yes	SEE WORKING DRAWING ELEVATIONS		4000 mm²				
W5	BED 3	910	1125		Yes	SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E				Yes	Yes	Yes	SEE WORKING DRAWING ELEVATIONS		4000 mm²				
W6	LANDING	460	1050			SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E						SEE WORKING DRAWING ELEVATIONS	0 mm²						
W7	BATH	460	1050	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	OBSCURE LOW - E									SEE WORKING DRAWING ELEVATIONS	0 mm²			
W8	BED 4	1248	1125	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E									Yes	Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²	
W9	BED 2	1248	1125	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	CLEAR LOW - E									Yes	Yes	SEE WORKING DRAWING ELEVATIONS	4000 mm²	
W10	E/S	460	1050	Yes		SEE WORKING DRAWING ELEVATIONS	SEE WORKING DRAWING ELEVATIONS	OBSCURE LOW - E										SEE WORKING DRAWING ELEVATIONS	0 mm²		
																	20000 mm² + 4000MM2 IN D2 = 24000MM2 TOTAL VENT AREA				

BACKGROUND VENTILATORS -
FOR CONTINUOUS MECHANICAL EXTRACT VENTILATION SYSTEMS (dMEV)

IN ACCORDANCE WITH APPROVED DOCUMENT F1(1), DWELLINGS INCORPORATING A CONTINUOUS MECHANICAL EXTRACT VENTILATION SYSTEM, SHOULD ALLOW FOR BACKGROUND VENTILATORS THAT SATISFY ALL OF THE FOLLWING CONDITIONS: -

- a. **NOT BE IN WET ROOMS;**
b. **PROVIDE A MINIMUM EQUIVALENT AREA OF 4000MM² FOR EACH HABITABLE ROOM** IN THE DWELLING;
c. **PROVIDE A MINIMUM TOTAL NUMBER OF VENTILATORS THAT IS THE SAME AS THE NUMBER OF BEDROOMS PLUS TWO-VENTILATORS;**
I.E: -
- 1 BED DWELLING = 3 VENTILATORS (MIN.)
 - 2 BED DWELLING = 4 VENTILATORS (MIN.)
 - 3 BED DWELLING = 5 VENTILATORS (MIN.)
 - 4 BED DWELLING = 6 VENTILATORS (MIN.)
 - 5 BED DWELLING = 7 VENTILATORS (MIN.)



WHERE FIRST FLOOR WINDOWS FORM PART OF THE OVERHEATING MITIGATION STRATEGY, ENSURE GUARDING IS INSTALLED AS PER THE DIAGRAM ABOVE AND DESIGNED AS FOLLOWS:

- GUARDING SHOULD BE SIZED TO PREVENT THE PASSAGE OF A 100MM SPHERE.
- ANY HOLE WHICH ALLOWS THE PASSAGE OF AN 8MM DIAMETER ROD SHOULD ALSO ALLOW THE PASSAGE OF A 25MM DIAMETER ROD. SUCH HOLES SHOULD NOT TAPER IN A WAY THAT ALLOWS FINGER ENTRAPMENT.
- ANY WALL, PARAPET, BALUSTRADE, SHUTTERS WITH A CHILD-PROOF LOCK OR SIMILAR OBSTRUCTION CAN BE USED AS GUARDING.
- ENSURE THAT GUARDING CAN RESIST, AS A MINIMUM, THE LOADS GIVEN IN BS EN 1991-1-1 WITH ITS UK NATIONAL ANNEX AND PD 6688-1-1.
- WHERE GLAZING IS USED IN THE GUARDING, REFER TO SECTION 5 OF APPROVED DOCUMENT K.

MILLER STANDARD OPENABLE AREA SCHEDULE - PER PANE		
OPENING REF.	OPENING HEIGHT	OPENING WIDTH
D2	2.06	0.87
W1	1.39	0.72
W3	0.94	0.57
W4	1.02	0.55
W5	1.02	0.40
W8	1.02	0.57
W9	1.02	0.57

MILLER STANDARD GLAZING AREA SCHEDULE - PER PANE		
REF.	OPENER GLAZING AREA	FIXED GLAZING AREA
D1	0.45 m²	0.45 m²
D2	1.09 m²	
W1	0.72 m²	0.72 m²
W3	0.34 m²	0.34 m²
W4	0.36 m²	0.36 m²
W5	0.23 m²	0.23 m²
W8	0.38 m²	0.38 m²
W9	0.38 m²	0.38 m²

Revision Note:

TOUGHENED SAFETY GLASS / RESTRICTOR PROVISION DENOTED TO WINDOW REF W1

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459701

Revision

C2

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
WINDOW SCHEDULE

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

MILLER STANDARD EXTERNAL AND INTERNAL DOOR SCHEDULE

REF.	LOCATION	DOOR CONFIGURATION	STRUCTURAL OPENING		DOOR PANEL DIMENSIONS			DOOR STYLE	FIRE DOOR	GLAZING REF.	SIDELIGHT REF.	FINISH	TOUGHENED SAFETY GLASS	WALL TYPE	BS PAS 24	VENTILATOR EA (mm²)	COMMENTS
			HEIGHT	WIDTH	DOOR PANEL HEIGHT	DOOR PANEL WIDTH	DOOR PANEL THICKNESS										
D1	HALL	SINGLE EXTERNAL	2100	1023		924	44	CHECK WITH REGION	No	OBSCURE LOW - E	N/A	SMOOTH	Yes	CAVITY WALL	Yes		
D2	FAMILY / DINING	EXTERNAL FRENCH DOOR	2100	1810		1707	44	FRENCH DOORS	No	CLEAR LOW - E	N/A	P.V.C.U.	Yes	CAVITY WALL	Yes		4000mm2 Trickle Vent
D3	W.C.	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	No	N/A	N/A	SMOOTH	No	STUD WALL	No		
D4	ST.	SINGLE INTERNAL	2030	747	1981	686	35	CHECK WITH REGION	No	N/A	N/A	SMOOTH	No	STUD WALL	No		
D5	ST.	SINGLE INTERNAL	2030	671	1981	610	35	PANELLED	No	N/A	N/A	SMOOTH	No	STUD WALL	No		
D6	FAMILY / DINING	SINGLE INTERNAL	2100	939	1981	838	35	CHECK WITH REGION	No	N/A	N/A	SMOOTH	No	BLOCK WALL	No		
D7	LAU.	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	No	N/A	N/A	SMOOTH	No	STUD WALL	No		
D8	LOUNGE	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	No	N/A	N/A	SMOOTH	No	STUD WALL	No		
D9	BATH	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	No	N/A	N/A	SMOOTH	No	STUD WALL	No		
D10	BED 4	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	No	N/A	N/A	SMOOTH	No	STUD WALL	No		
D11	BED 2	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	No	N/A	N/A	SMOOTH	No	STUD WALL	No		
D12	ST.	DOUBLE INTERNAL	2030	1130	1981	533	35	CHECK WITH REGION	No	N/A	N/A	SMOOTH	No	STUD WALL	No		
D13	BED 1	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	No	N/A	N/A	SMOOTH	No	STUD WALL	No		
D14	E/S	SINGLE INTERNAL	2030	823	1981	762	35	CHECK WITH REGION	No	N/A	N/A	SMOOTH	No	STUD WALL	No		
D15	BED 3	SINGLE INTERNAL	2030	899	1981	838	35	CHECK WITH REGION	No	N/A	N/A	SMOOTH	No	STUD WALL	No		

Project Title

LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title

DOOR SCHEDULE

Revision Note:

CONSTRUCTION ISSUE

Scale

N/A

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459702

Revision

C1

millerhomes

Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

MILLER STANDARD LINTEL SCHEDULE - WINDOWS			
REF.	LOCATION	STRUCTURAL OPENING WIDTH	COMMENTS
W1	LOUNGE	1923	
W2	W.C.	460	
W3	KITCHEN	1248	
W4	BED 1	1810	
W5	BED 3	910	
W6	LANDING	460	
W7	BATH	460	
W8	BED 4	1248	
W9	BED 2	1248	
W10	E/S	460	

MILLER STANDARD LINTEL SCHEDULE - DOORS				
REF.	LOCATION	STRUCTURAL OPENING WIDTH	WALL TYPE	COMMENTS
D1	HALL	1023	CAVITY WALL	
D2	FAMILY / DINING	1810	CAVITY WALL	4000mm2 Trickle Vent
D6	FAMILY / DINING	939	BLOCK WALL	

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
LINTEL SCHEDULES

Revision Note:
CONSTRUCTION ISSUE

Scale	Drawn By	Date
N/A	M.T.	07.03.24

Drawing No.	Revision
L459703	C1

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

WINDOW KEY.



DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.

EXE

DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST 450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS.

RAINWATER GOODS - GENERAL NOTES

ALL RWP LOCATIONS DENOTED ARE DESIGNED IN ACCORDANCE WITH POLYPIPE'S RAINWATER DISCHARGE CALCULATIONS.

FIGURES BASED ON POLYFLOW RAINWATER SYSTEM (i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND RAINFALL DESIGN INTENSITY OF 75MM/HOUR.

INDICATIVE PHOTOVOLTAIC (P.V.)
ARRAY POSITION, SUBJECT TO
SITE/PLOT LOCATION & ORIENTATION
OF DWELLING. REFER TO SITE/PLOT
SPECIFIC PV DESIGNS FOR EXACT
REQUIREMENTS.

DRY VERGE.

P.V.C.U. FASCIA AND SOFFIT BOARDS.

PROJECTING BRICK STRETCHER
LABEL COURSE RETURNS 450MM AND
AS PER SEPARATE DETAIL

RECONSTITUTED STONE CILLS
WHERE SHOWN.

OPTIONAL CODE 4 LEAD FLASHING TO
ENTRANCE CANOPY.

G.R.P. LEAN TO ENTRANCE TRUSSED
CANOPY. STORMKING REF: 1207009
VARIANT + BOARDED PANEL TO
WIDTH AS NOTED.

G.R.P. DECORATIVE GALLOWS
BRACKET. STORMKING REF: 7680-31
(650x650mm)

ENTRANCE DOOR TO BE IG DOOR
STYLE REF: 04 OR SIMILAR
APPROVED.

DRY RIDGE.

BEDROOM EXTRACT TILE VENT

PROJECTING BRICK STRETCHER
LABEL COURSE TO SEPARATE DETAIL
NO. WD-GD-EN-0XX.

CODE 4 LEAD FLASHING TO BAY
ROOF.

G.R.P. PITCHED SQUARE BAY LID.
STORMKING REF: 2312005 - TILE
EFFECT FINISH

PLOT HANDINGS.

AS: PLOT 640

FRONT ELEVATION.

EXTENT OF PHOTOVOLTAIC (PV) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPERATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
**FRONT ELEVATION
GREEN EDGE OPTION**

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459GE401

Revision

C1

millerhomes

Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

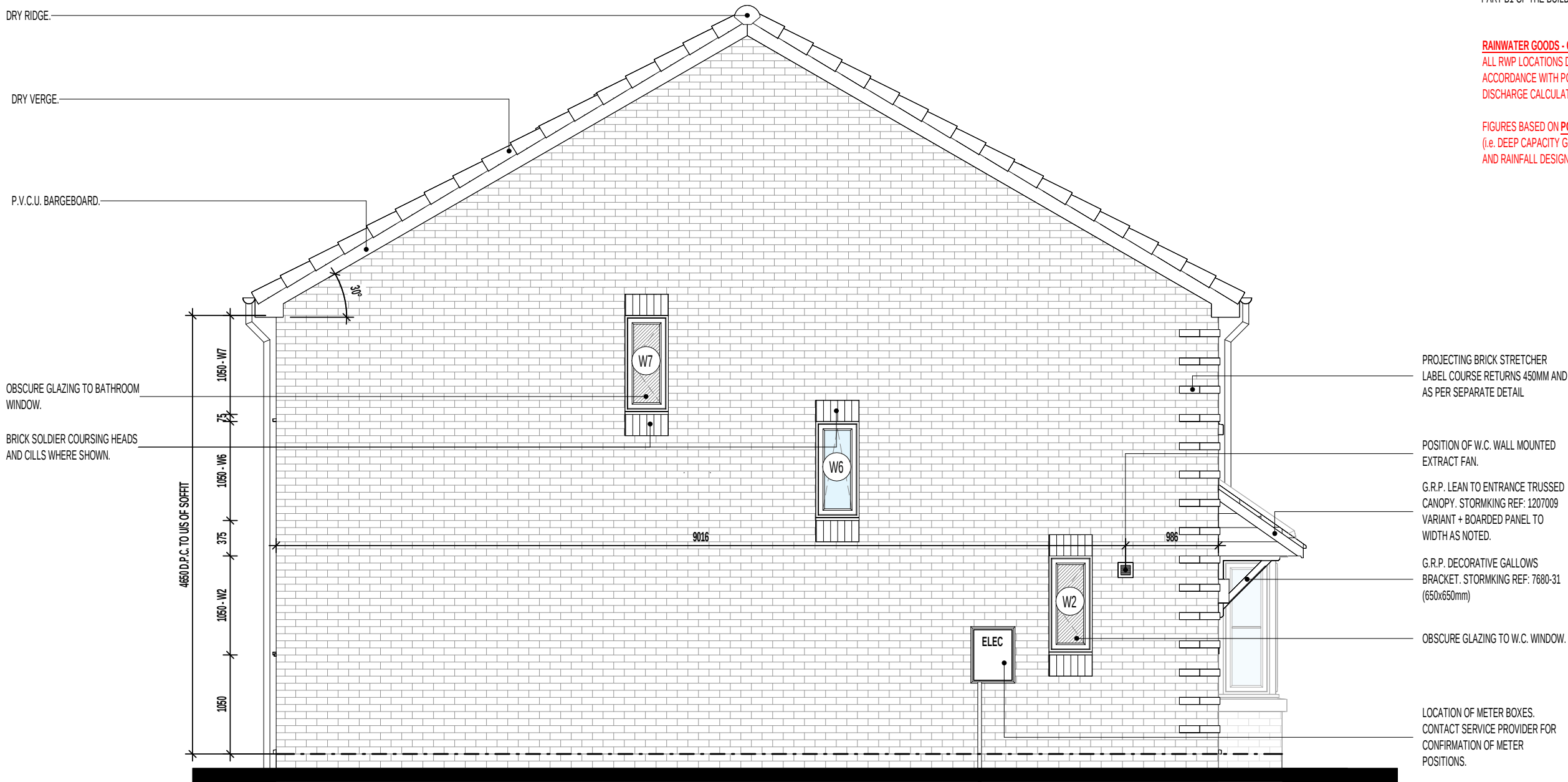
WINDOW KEY.

 DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.

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FIGURES BASED ON **POLYFLOW RAINWATER SYSTEM** (i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND RAINFALL DESIGN INTENSITY OF 75MM/HOUR.



L.H. SIDE ELEVATION.

PLOT HANDINGS.

AS: PLOT 640

EXTENT OF PHOTOVOLTAIC (PV) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITEPLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPERATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
**L.H. SIDE ELEVATION
GREEN EDGE OPTION**

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459GE402

Revision

C1

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

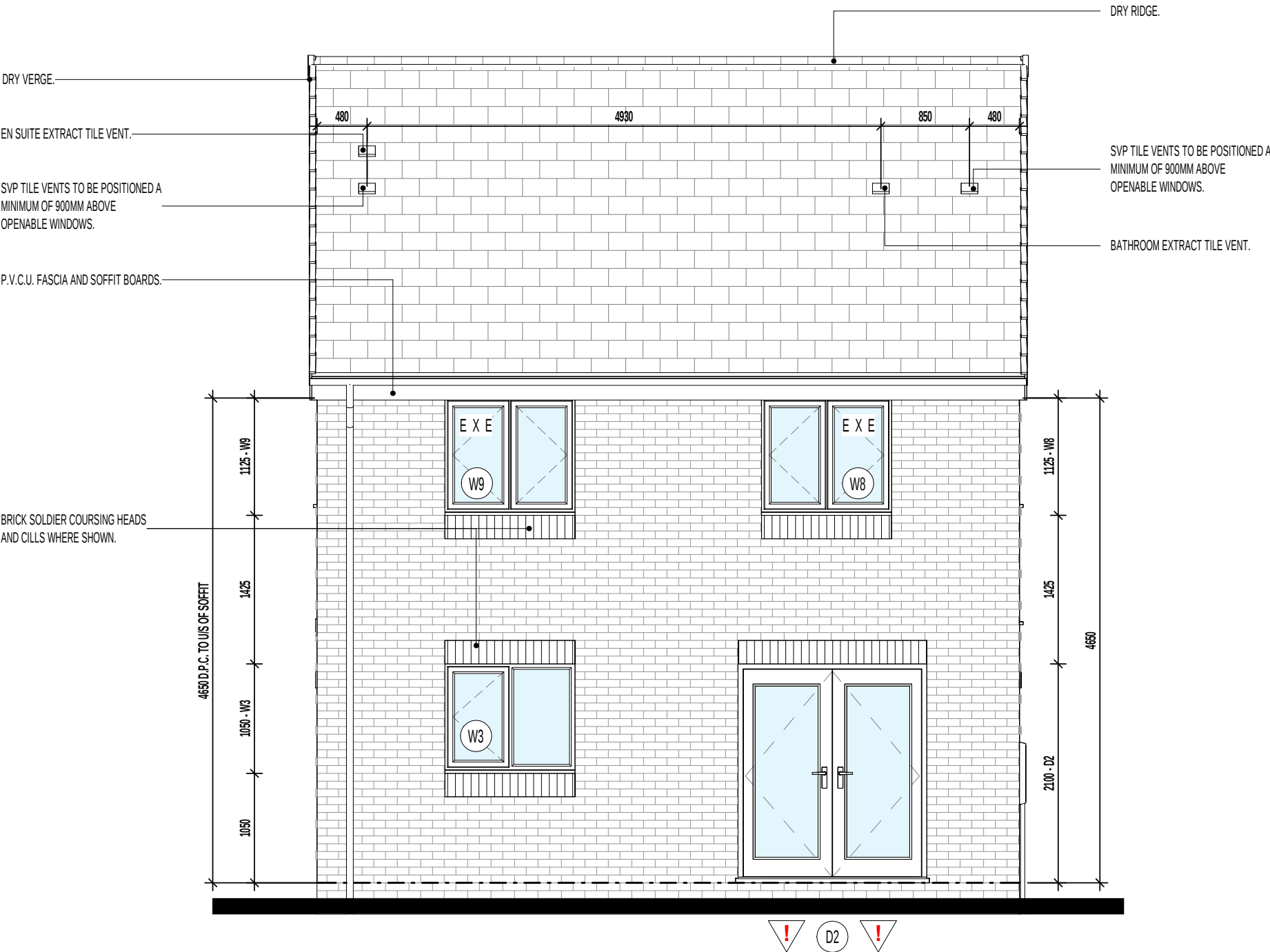
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REAR ELEVATION.

PLOT HANDINGS.

AS: PLOT 640

EXTENT OF PHOTOVOLTAIC (PV) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITEPLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPERATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
**REAR ELEVATION
GREEN EDGE OPTION**

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

G.T.

Date

07.03.24

Drawing No.

L459GE403

Revision

C1

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

WINDOW KEY.

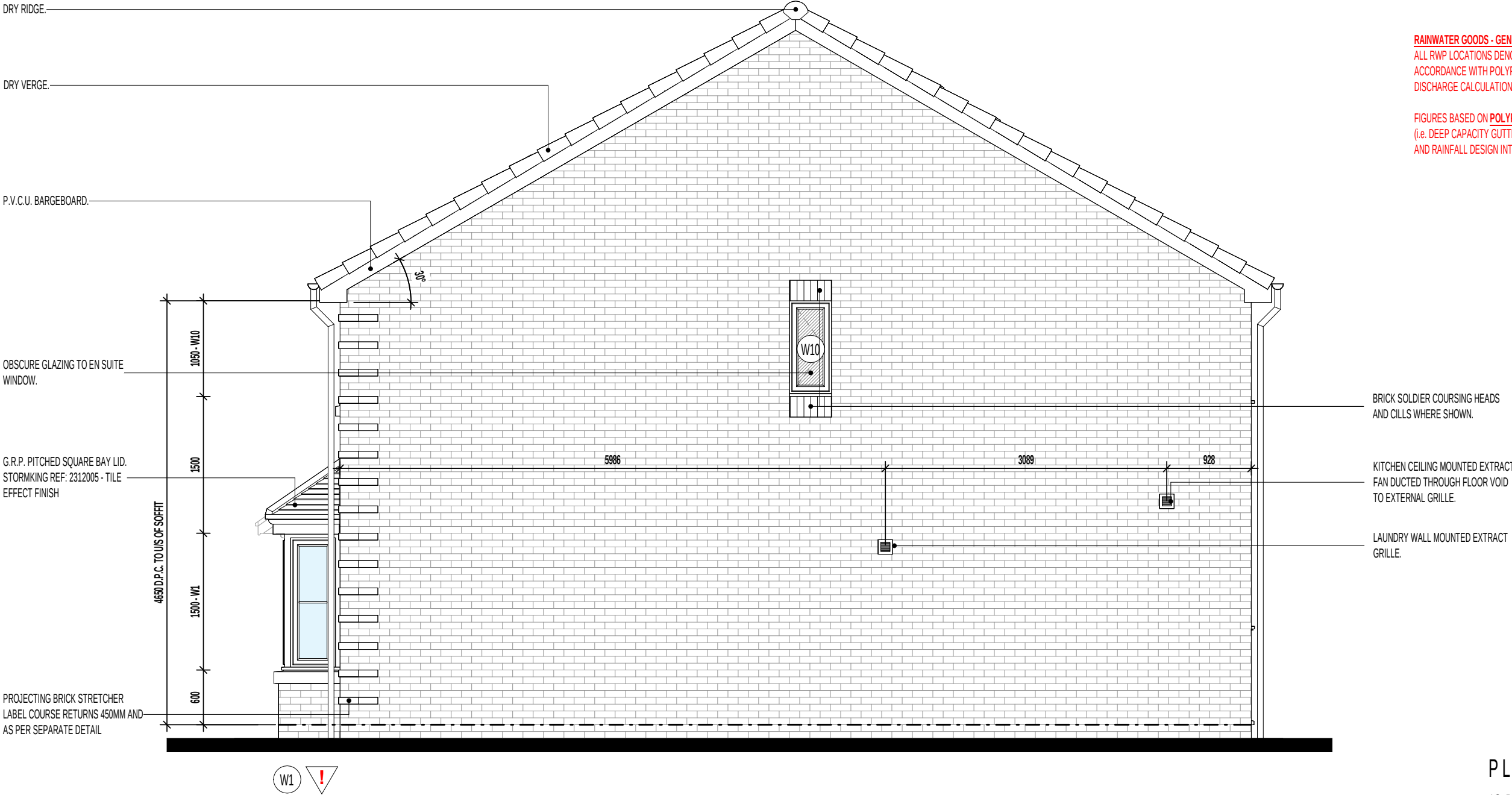
- !

DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.
- EXE

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R.H. SIDE ELEVATION.

PLOT HANDINGS.
AS: PLOT 640

EXTENT OF PHOTOVOLTAIC (PV) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITEPLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPERATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
R.H. SIDE ELEVATION
GREEN EDGE OPTION

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

G.T.

Date

07.03.24

Drawing No.

L459GE404

Revision

C1



Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

WINDOW KEY.



DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.

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INDICATIVE PHOTOVOLTAIC (P.V.) ARRAY POSITION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING. REFER TO SITE/PLOT SPECIFIC PV DESIGNS FOR EXACT REQUIREMENTS.

DRY VERGE.

P.V.C.U. FASCIA AND SOFFIT BOARDS.

DRY RIDGE.

BEDROOM EXTRACT TILE VENT

GLASS ENTRANCE DOOR CANOPY.

ENTRANCE DOOR TO BE IG DOOR STYLE REF: TBC.

CODE 4 LEAD FLASHING TO BAY ROOF.

G.R.P. CONTEMPORARY FLAT BAY LID. SEE STORMKING DRAWING REF: XXXXX

FRONT ELEVATION.

PLOT HANDINGS.

OPP: PLOTS 691 & 694

EXTENT OF PHOTOVOLTAIC (PV) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPERATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
FRONT ELEVATION
MAIN STREET & LOCAL CENTRE OPTION

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459ML401

Revision

C1

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

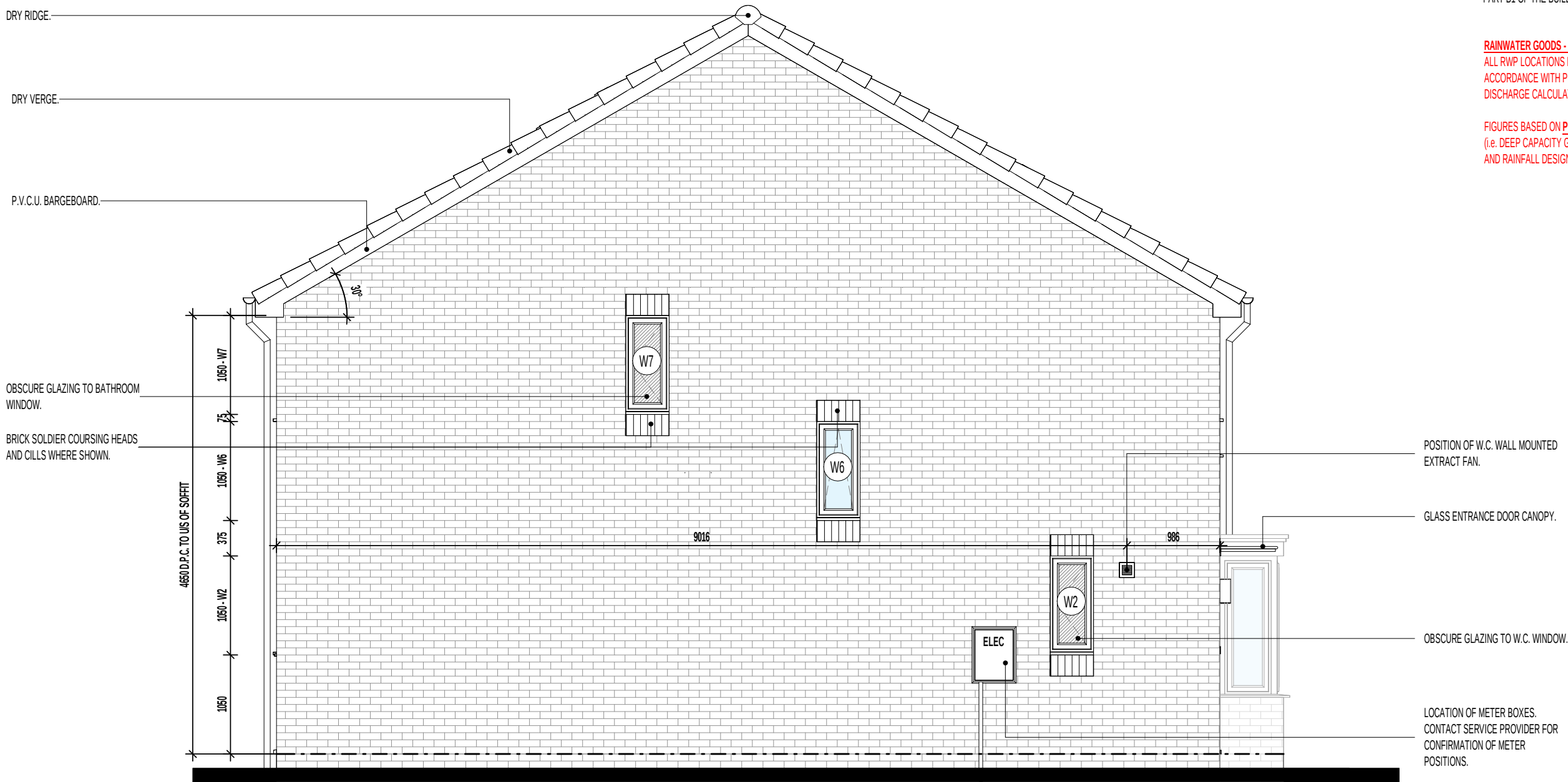
WINDOW KEY.

 DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.

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L.H. SIDE ELEVATION.

PLOT HANDINGS.

OPP: PLOTS 691 & 694

EXTENT OF PHOTOVOLTAIC (PV) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITEPLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPERATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
**L.H. SIDE ELEVATION
MAIN STREET & LOCAL CENTRE OPTION**

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459ML402

Revision

C1

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS TO BE WORKED FROM DISCREPANCIES MUST BE REPORTED TO THE DESIGN OFFICE BEFORE PROCEEDING

WINDOW KEY.



DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.

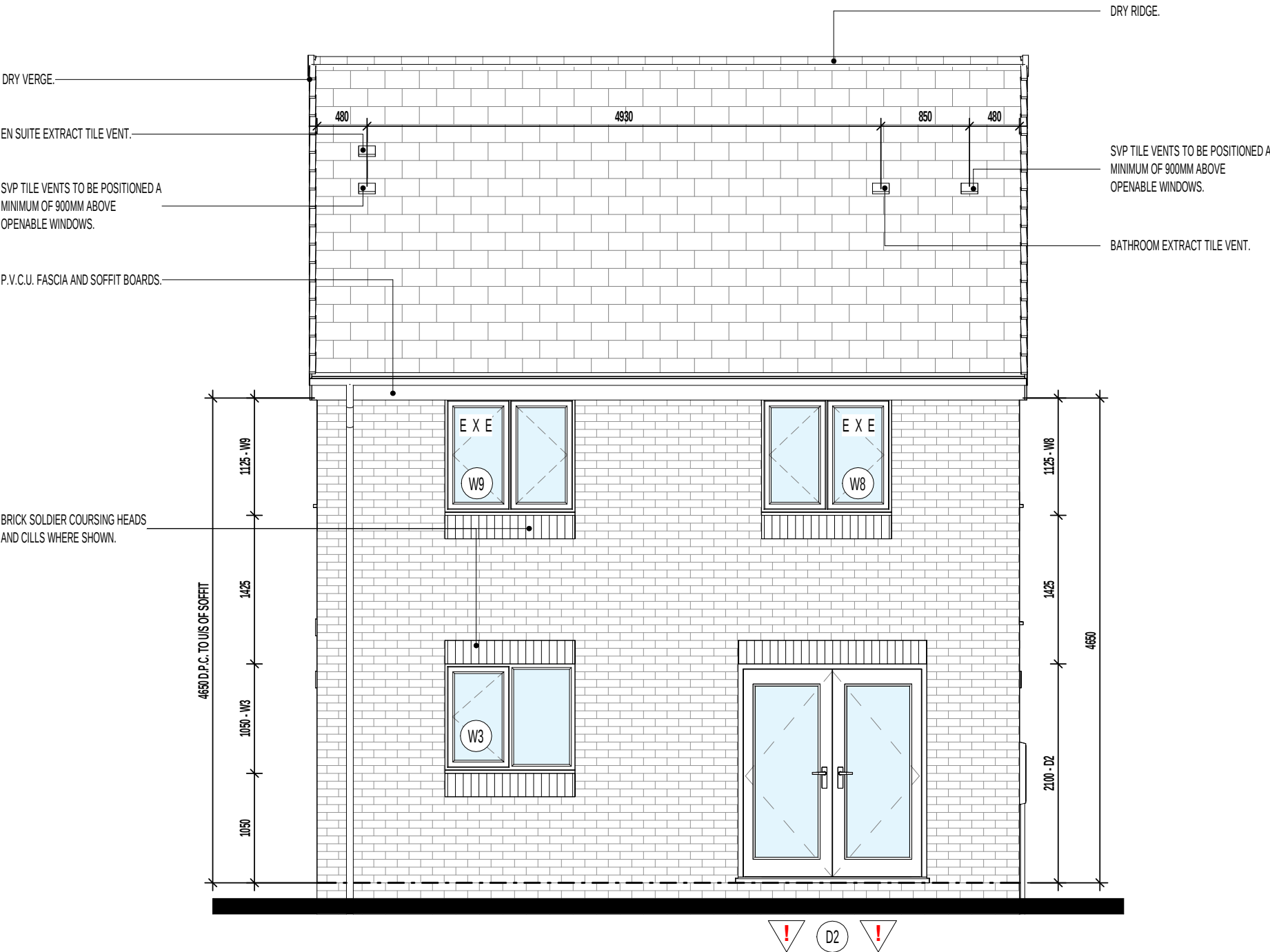
EXE

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RAINWATER GOODS - GENERAL NOTES

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FIGURES BASED ON POLYFLOW RAINWATER SYSTEM (i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND RAINFALL DESIGN INTENSITY OF 75MM/HOUR.



REAR ELEVATION.

EXTENT OF PHOTOVOLTAIC (PV) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITEPLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPERATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
REAR ELEVATION
MAIN STREET & LOCAL CENTRE OPTION

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459ML403

Revision

C1

PLOT HANDINGS.

OPP: PLOTS 691 & 694

mill

erhomes

Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

WINDOW KEY.

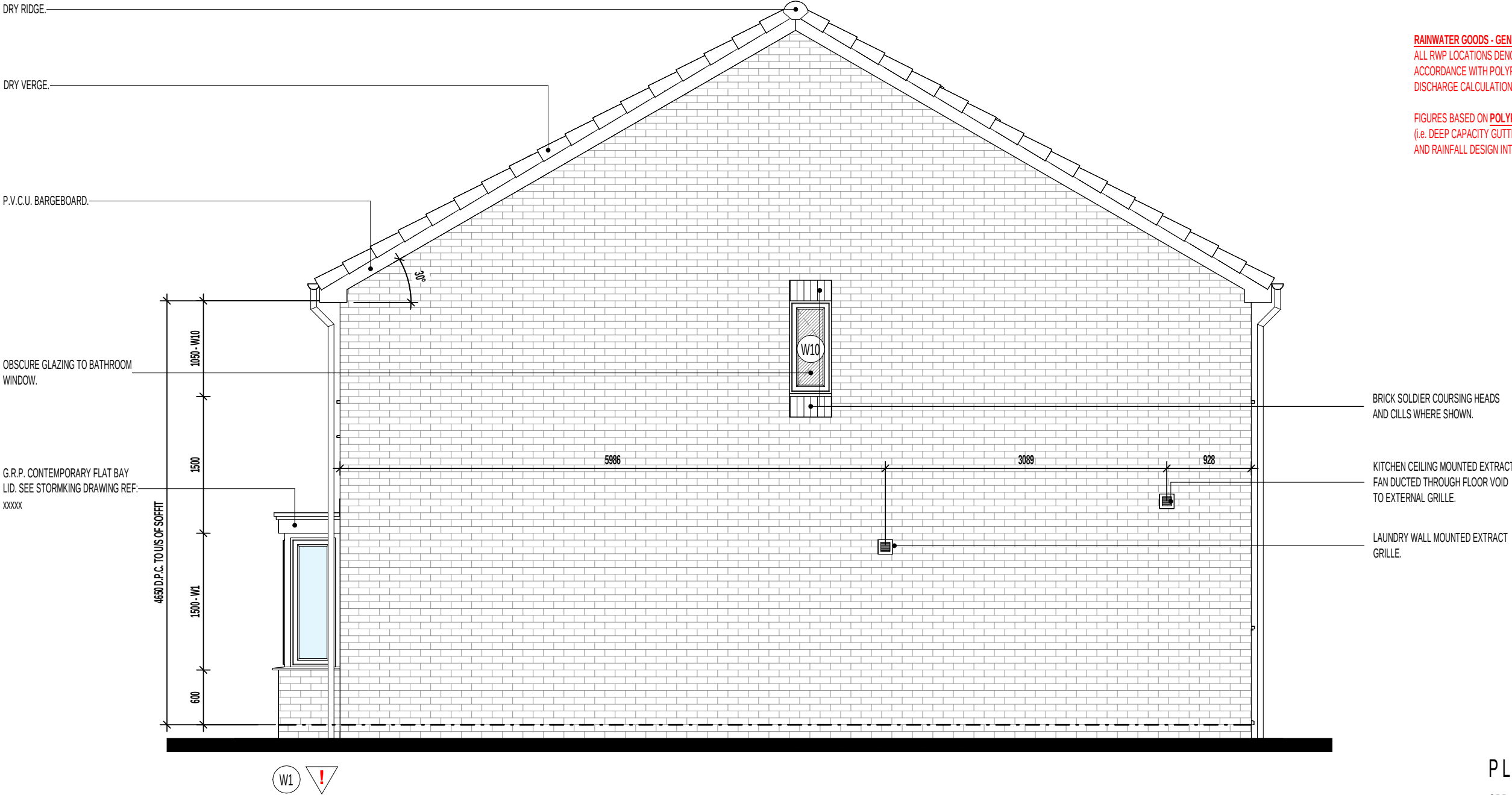
- !

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FIGURES BASED ON **POLYFLOW RAINWATER SYSTEM** (i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND RAINFALL DESIGN INTENSITY OF 75MM/HOUR.



R.H. SIDE ELEVATION.

PLOT HANDINGS.
OPP: PLOTS 691 & 694

EXTENT OF PHOTOVOLTAIC (PV) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITEPLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPERATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
R.H. SIDE ELEVATION
MAIN STREET & LOCAL CENTRE OPTION

Revision Note:
CONSTRUCTION ISSUE

Scale	Drawn By	Date
1 : 50	M.T.	07.03.24
Drawing No.	Revision	
L459ML404	C1	

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

WINDOW KEY.



DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.

EXE

DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST 450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS.

RAINWATER GOODS - GENERAL NOTES

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FIGURES BASED ON POLYFLOW RAINWATER SYSTEM (i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND RAINFALL DESIGN INTENSITY OF 75MM/HOUR.

INDICATIVE PHOTOVOLTAIC (P.V.) ARRAY POSITION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING. REFER TO SITE/PLOT SPECIFIC PV DESIGNS FOR EXACT REQUIREMENTS.

DRY VERGE.

P.V.C.U. FASCIA AND SOFFIT BOARDS.

DRY RIDGE.

BEDROOM EXTRACT TILE VENT

OPTIONAL CODE 4 LEAD FLASHING TO ENTRANCE CANOPY.

GRP ENTRANCE CANOPY. STORMKING REF: TBC.

G.R.P. DECORATIVE GALLOW'S BRACKET. STORMKING REF: 7680-35 (500x500mm)

ENTRANCE DOOR TO BE IG DOOR STYLE REF: TBC.

CODE 4 LEAD FLASHING TO BAY ROOF.

G.R.P. CONTEMPORARY FLAT BAY LID. SEE STORMKING DRAWING REF: XXXXX

FRONT ELEVATION.

PLOT HANDINGS.

AS: PLOT 606
OPP: PLOTS 604, 605, 616 & 617

EXTENT OF PHOTOVOLTAIC (PV) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPERATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
FRONT ELEVATION
NEIGHBOURHOOD OPTION

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459N401

Revision

C1

mill

erhomes

Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

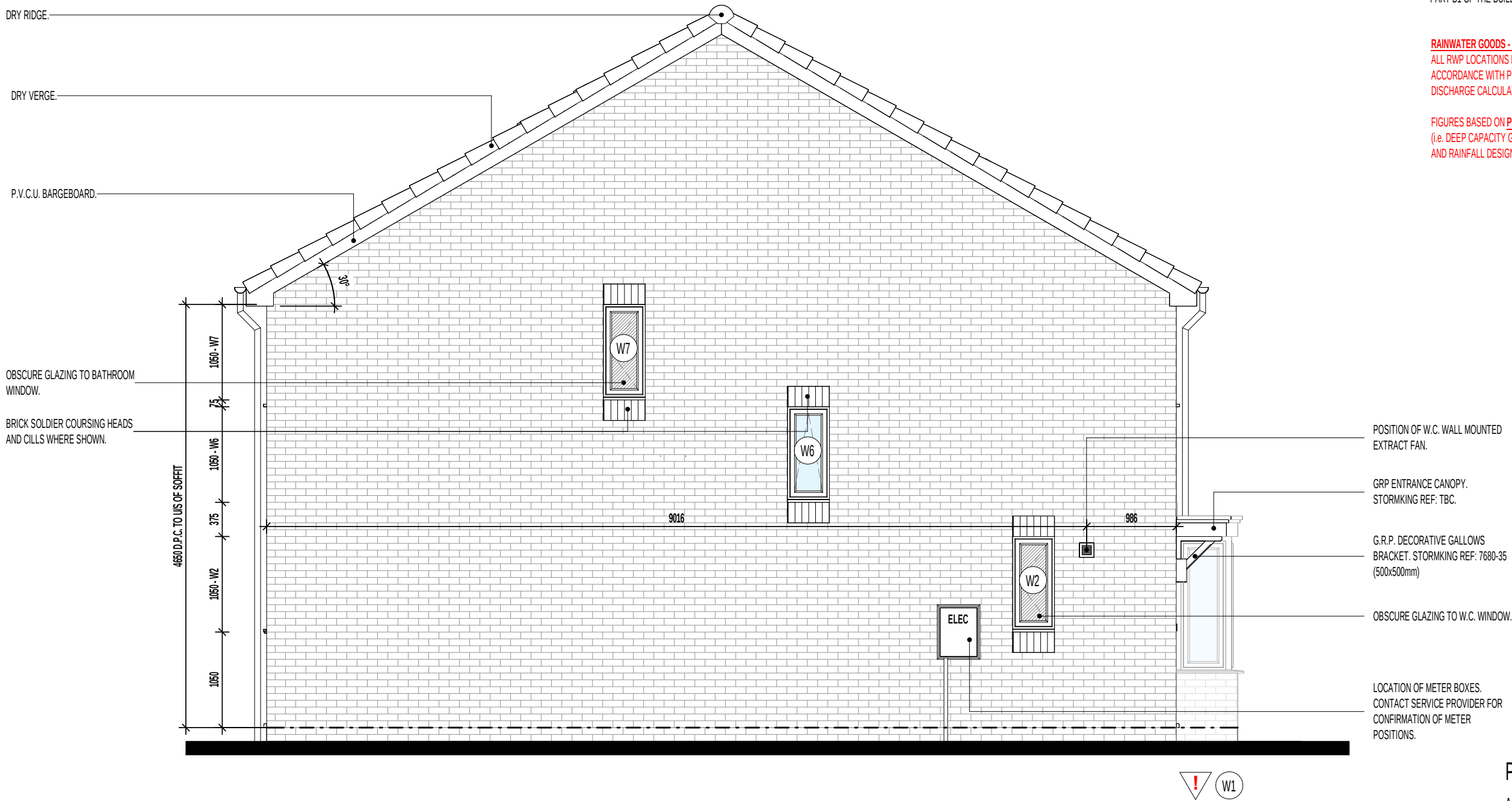
WINDOW KEY.

 DENOTES WINDOWS TO BE SUPPLIED AS TOUGHENED SAFETY GLASS.

EXE DENOTES WINDOW TO BE SUPPLIED AS EMERGENCY EGRESS WINDOW AND HAVE UN-OBSTRUCTED OPENING OF AT LEAST 450MM X 450MM GIVING AN AREA OF 0.33 SQ.M CONFORMING TO APPROVED DOCUMENT PART B1 OF THE BUILDING REGULATIONS.

RAINWATER GOODS - GENERAL NOTES
ALL RWP LOCATIONS DENOTED ARE DESIGNED IN ACCORDANCE WITH POLYPIPE'S RAINWATER DISCHARGE CALCULATIONS.

FIGURES BASED ON **POLYFLOW RAINWATER SYSTEM** (i.e. DEEP CAPACITY GUTTERING) WITH LEVEL GUTTERS AND RAINFALL DESIGN INTENSITY OF 75MM/HOUR.



L.H. SIDE ELEVATION.

PLOT HANDINGS.

AS: PLOT 606
OPP: PLOTS 604, 605, 616 & 617

EXTENT OF PHOTOVOLTAIC (PV) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITEPLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPERATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
**L.H. SIDE ELEVATION
NEIGHBOURHOOD OPTION**

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459N402

Revision

C1

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
Derby, DE24 8RF
Telephone 0870 336 4400 Fax 0870 336 4401
www.millerhomes.co.uk

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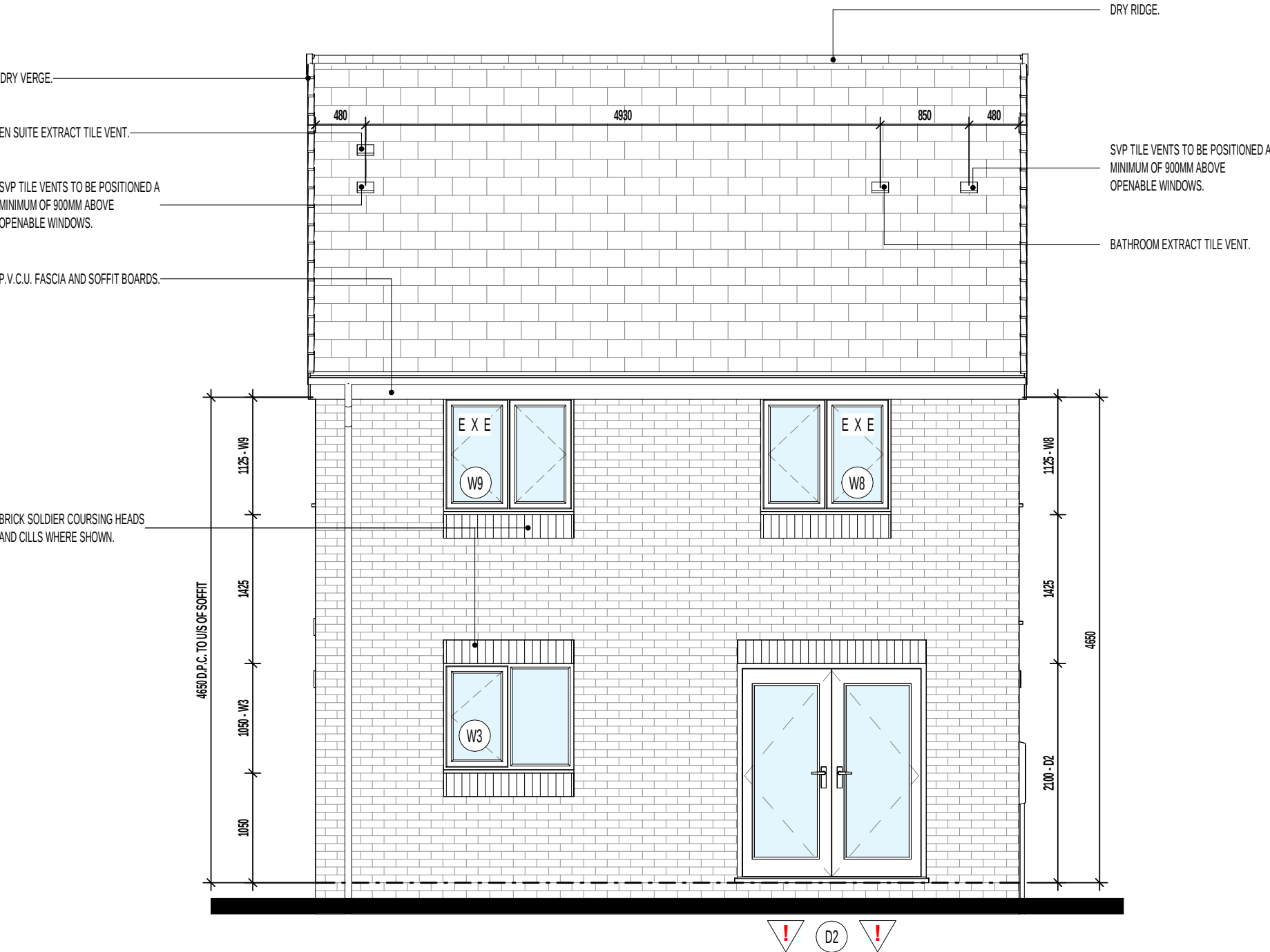
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REAR ELEVATION.

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Project Title
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L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
**REAR ELEVATION
NEIGHBOURHOOD OPTION**

Revision Note:

CONSTRUCTION ISSUE

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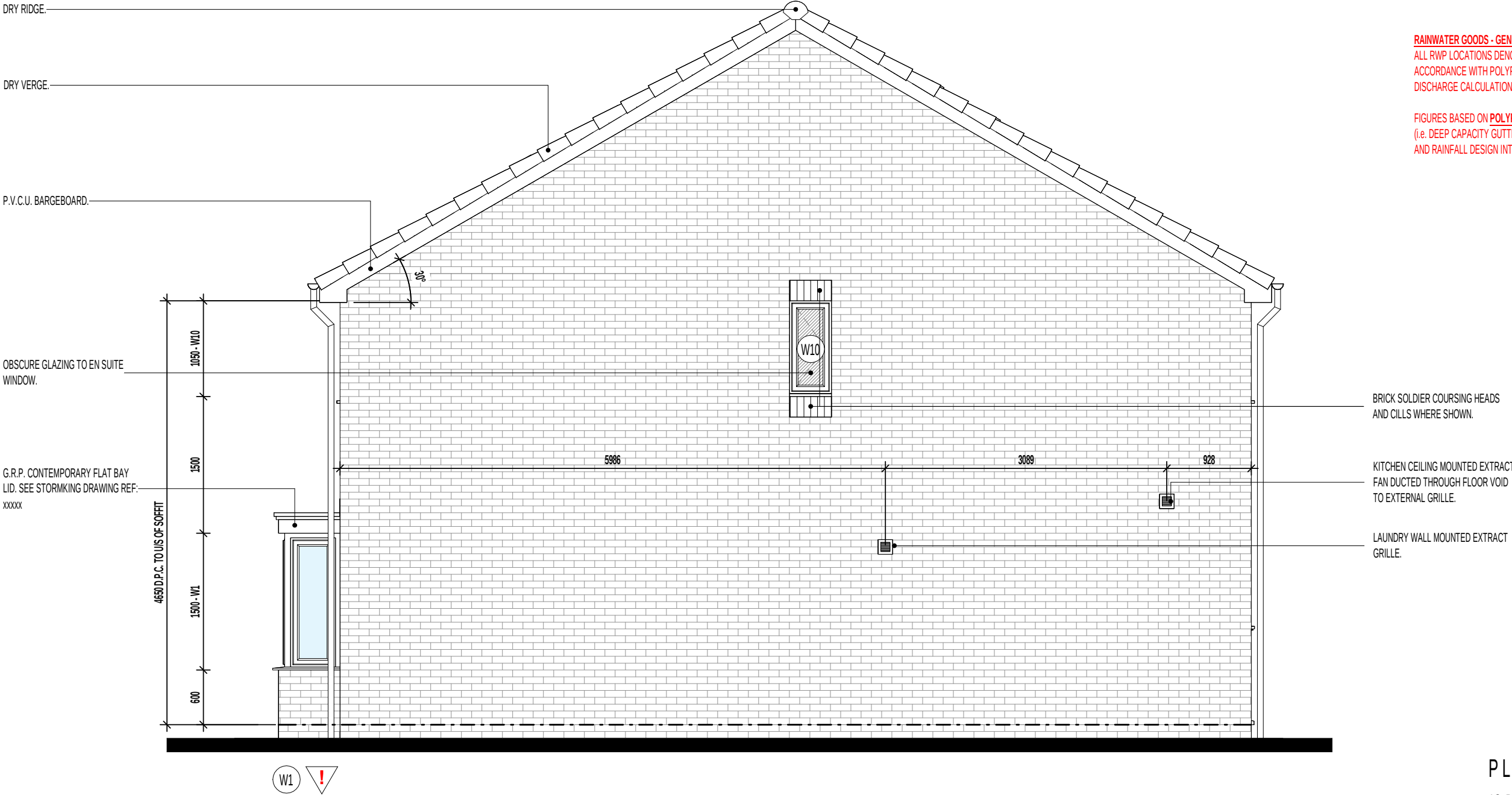
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Project Title
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L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
R.H. SIDE ELEVATION
NEIGHBOURHOOD OPTION

Revision Note:		
CONSTRUCTION ISSUE		

Scale	Drawn By	Date
1 : 50	M.T.	07.03.24
Drawing No.	Revision	
L459N404	C1	

millerhomes
Miller Homes Ltd
2 Centro Place, Pride Park
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INDICATIVE PHOTOVOLTAIC (P.V.)
ARRAY POSITION, SUBJECT TO
SITE/PLOT LOCATION & ORIENTATION
OF DWELLING. REFER TO SITE/PLOT
SPECIFIC PV DESIGNS FOR EXACT
REQUIREMENTS.

DRY VERGE.

P.V.C.U. FASCIA AND SOFFIT BOARDS.

DRY RIDGE.

BEDROOM EXTRACT TILE VENT

OPTIONAL CODE 4 LEAD FLASHING TO
ENTRANCE CANOPY.

GRP ENTRANCE CANOPY.
STORMKING REF: TBC.

G.R.P. DECORATIVE GALLOW'S
BRACKET. STORMKING REF: 7680-35
(500x500mm)

ENTRANCE DOOR TO BE IG DOOR
STYLE REF: TBC.

CODE 4 LEAD FLASHING TO BAY
ROOF.

G.R.P. CONTEMPORARY FLAT BAY
LID. SEE STORMKING DRAWING REF:
XXXXX

FRONT ELEVATION.

PLOT HANDINGS.

AS: PLOTS 650 & 655
OPP: PLOT 597

EXTENT OF PHOTOVOLTAIC (PV) ARRAY & POSITION ON RELEVANT ELEVATION, SUBJECT TO SITE/PLOT LOCATION & ORIENTATION OF DWELLING (REFER TO SEPERATE S.A.P SCHEDULE & SPECIALISTS DETAILED DRAWINGS FOR EXACT REQUIREMENTS)

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
FRONT ELEVATION
NEIGHBOURHOOD EDGE OPTION

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459NE401

Revision

C1

mill

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Telephone 0870 336 4400 Fax 0870 336 4401
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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

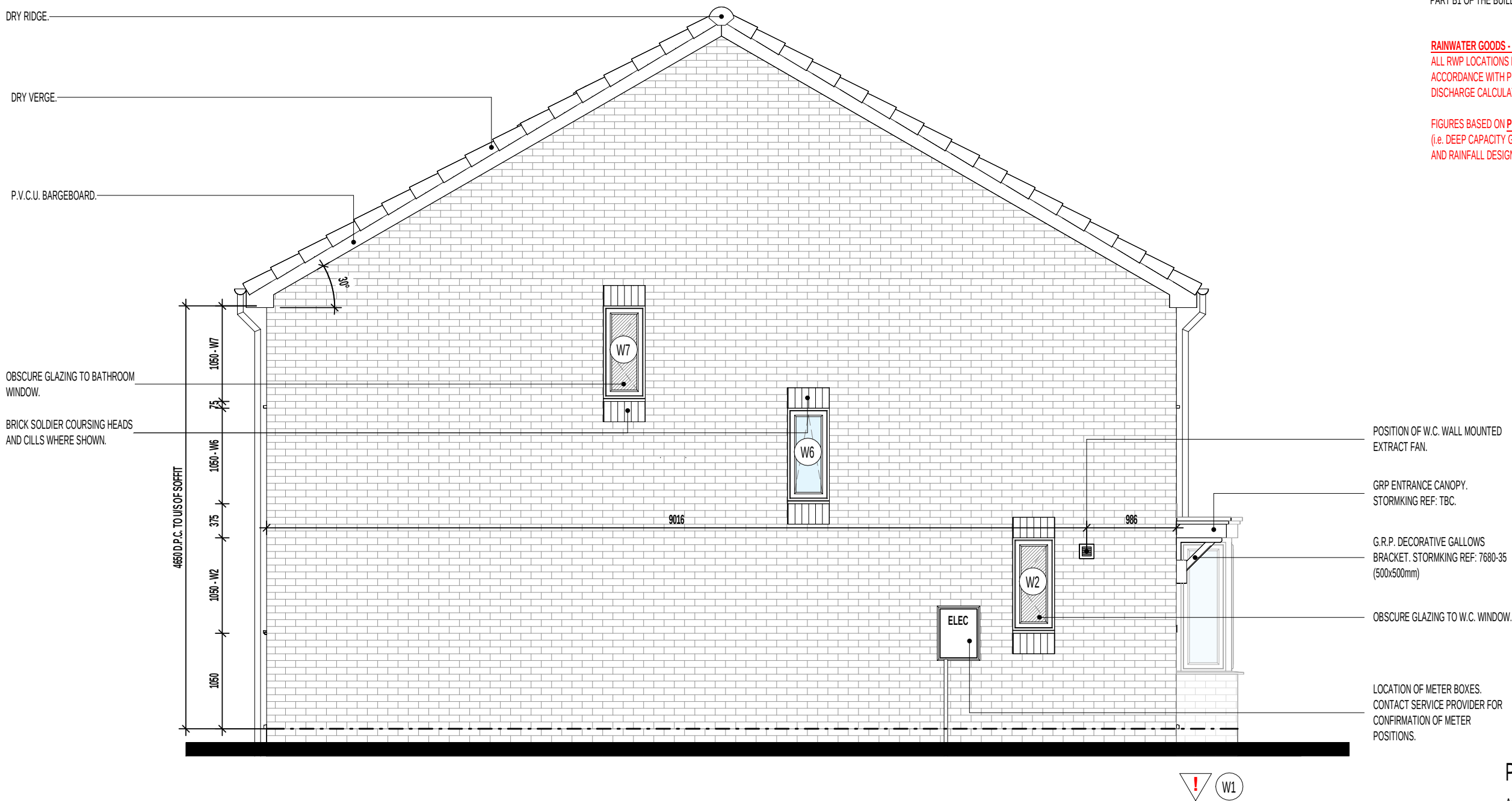
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L.H. SIDE ELEVATION.

PLOT HANDINGS.

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OPP: PLOT 597

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Project Title
**LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
**L.H. SIDE ELEVATION
NEIGHBOURHOOD EDGE OPTION**

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459NE402

Revision

C1

millerhomes
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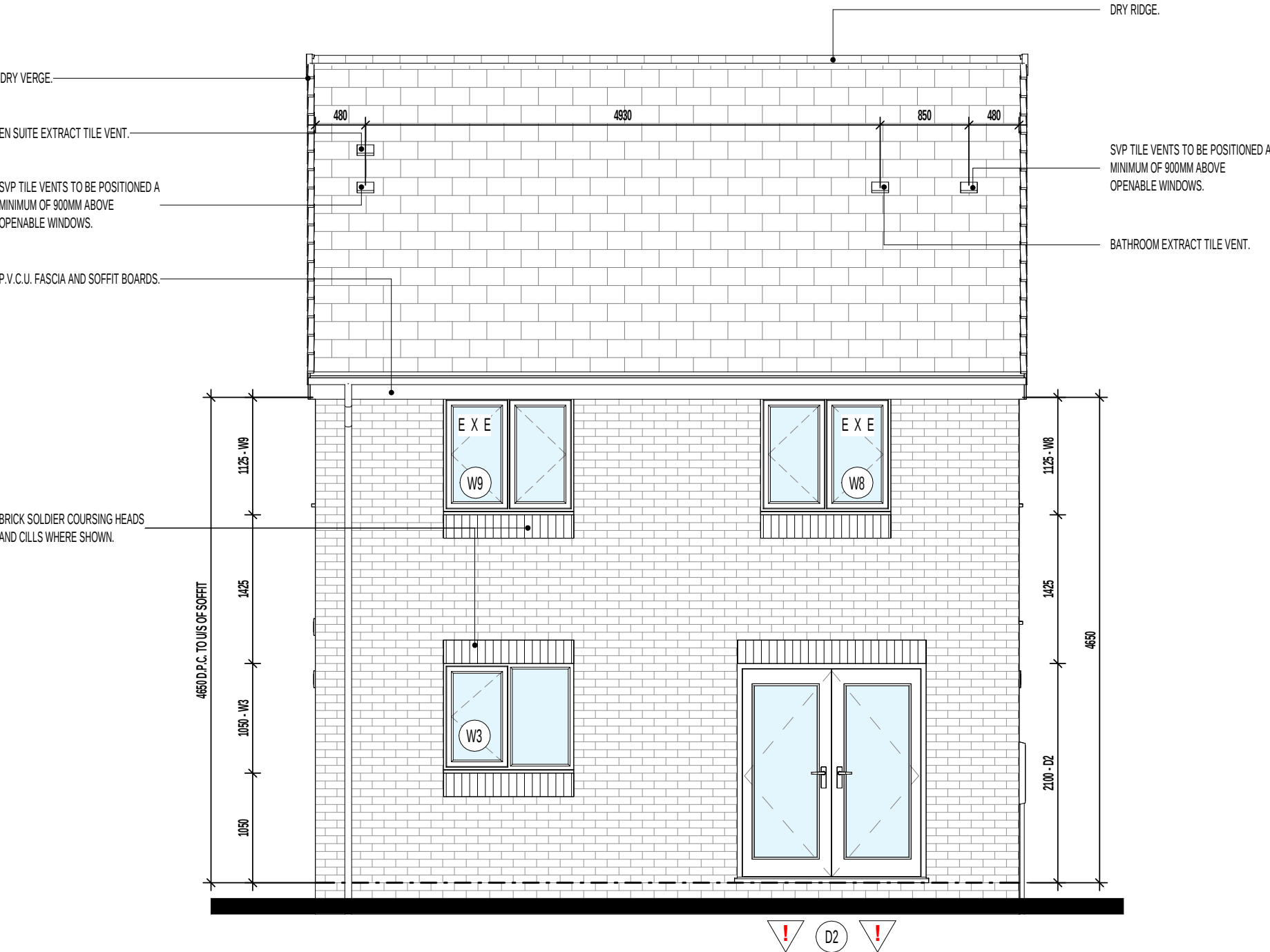
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**LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION**

Drawing Title
**REAR ELEVATION
NEIGHBOURHOOD EDGE OPTION**

Revision Note:
CONSTRUCTION ISSUE

Scale
1 : 50

Drawn By
M.T.

Date
07.03.24

Drawing No.
L459NE403

Revision
C1

millerhomes
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WINDOW KEY.

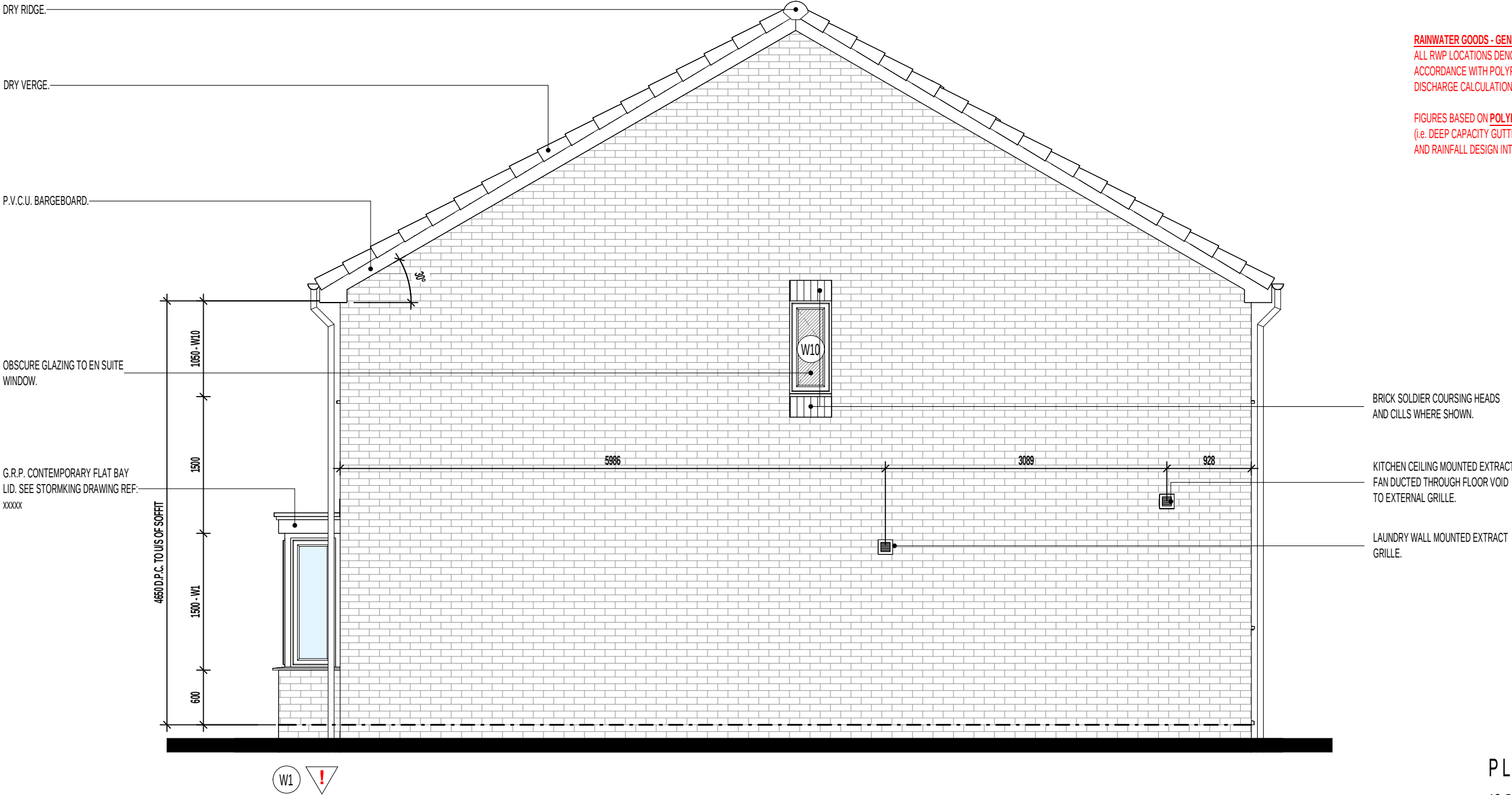
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W1 !

R.H. SIDE ELEVATION.

PLOT HANDINGS.

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OPP: PLOT 597

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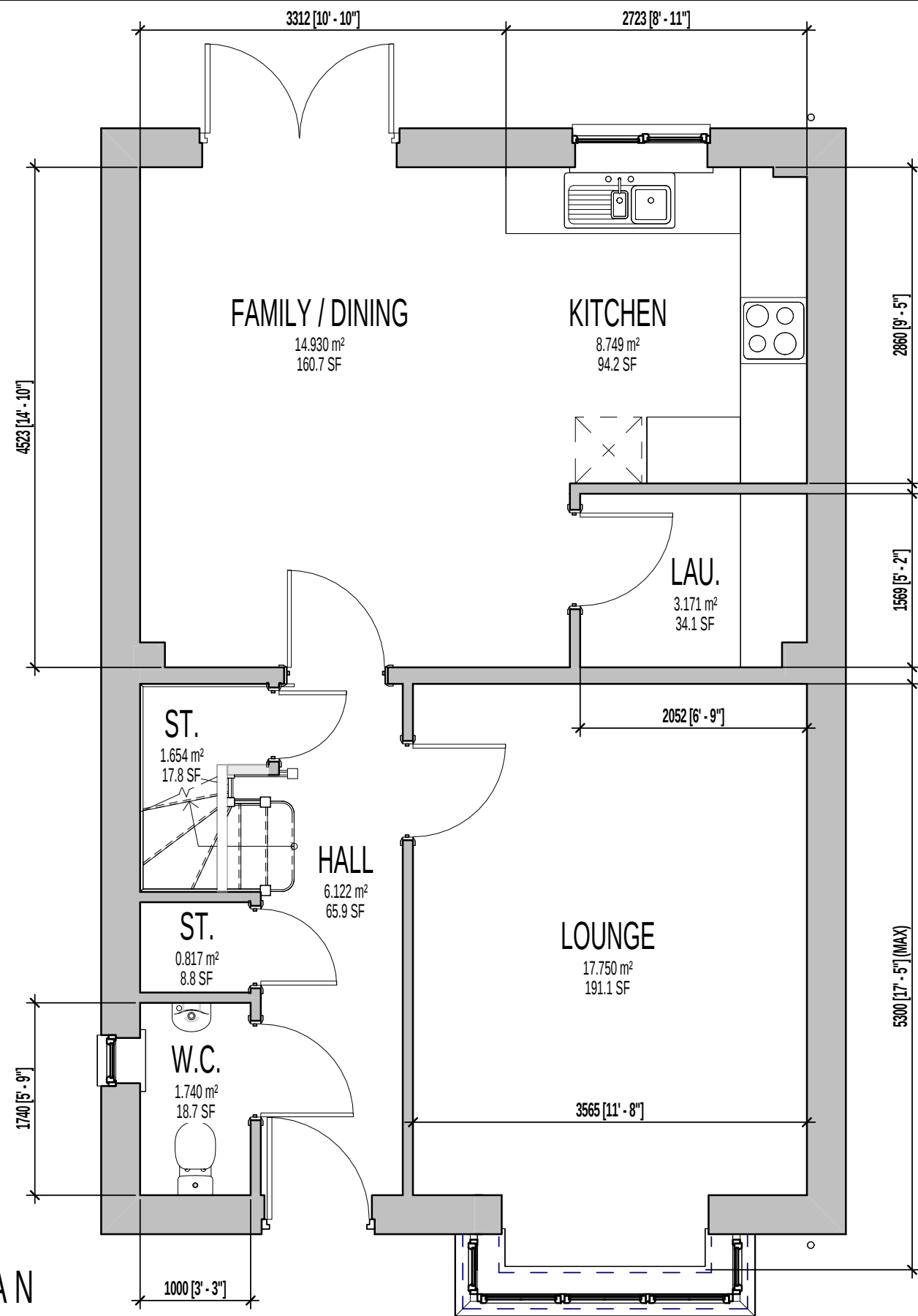
Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
R.H. SIDE ELEVATION
NEIGHBOURHOOD EDGE OPTION

Revision Note:
CONSTRUCTION ISSUE

Scale	Drawn By	Date
1 : 50	M.T.	07.03.24
Drawing No.	Revision	
L459NE404	C1	

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Miller Homes Ltd
2 Centro Place, Pride Park
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GROUND FLOOR PLAN

MILLER STANDARD ROOM SIZE SCHEDULE							
ROOM NAME	FLOOR	METRIC			IMPERIAL		
		WIDTH	DEPTH		WIDTH	DEPTH	
LOUNGE	GROUND FLOOR	3565	X	5300	MAX.	11' - 8"	X 17' - 5"
KITCHEN	GROUND FLOOR	2723	X	2860		8' - 11"	X 9' - 5"
LAU.	GROUND FLOOR	2052	X	1569		6' - 9"	X 5' - 2"
FAMILY / DINING	GROUND FLOOR	3312	X	4523		10' - 10"	X 14' - 10"
W.C.	GROUND FLOOR	1000	X	1740		3' - 3"	X 5' - 9"
BED 1	FIRST FLOOR	3112	X	3729		10' - 3"	X 12' - 3"
E/S	FIRST FLOOR	2010	X	1195		6' - 7"	X 3' - 11"
BED 3	FIRST FLOOR	2830	X	2650		9' - 3"	X 8' - 8"
BED 2	FIRST FLOOR	2930	X	3925		9' - 7"	X 12' - 11"
BED 4	FIRST FLOOR	3012	X	2478		9' - 11"	X 8' - 2"
BATH	FIRST FLOOR	1700	X	1997		5' - 7"	X 6' - 7"

Project Title
LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP GROUND FLOOR SALES BROCHURE
PLAN

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459911

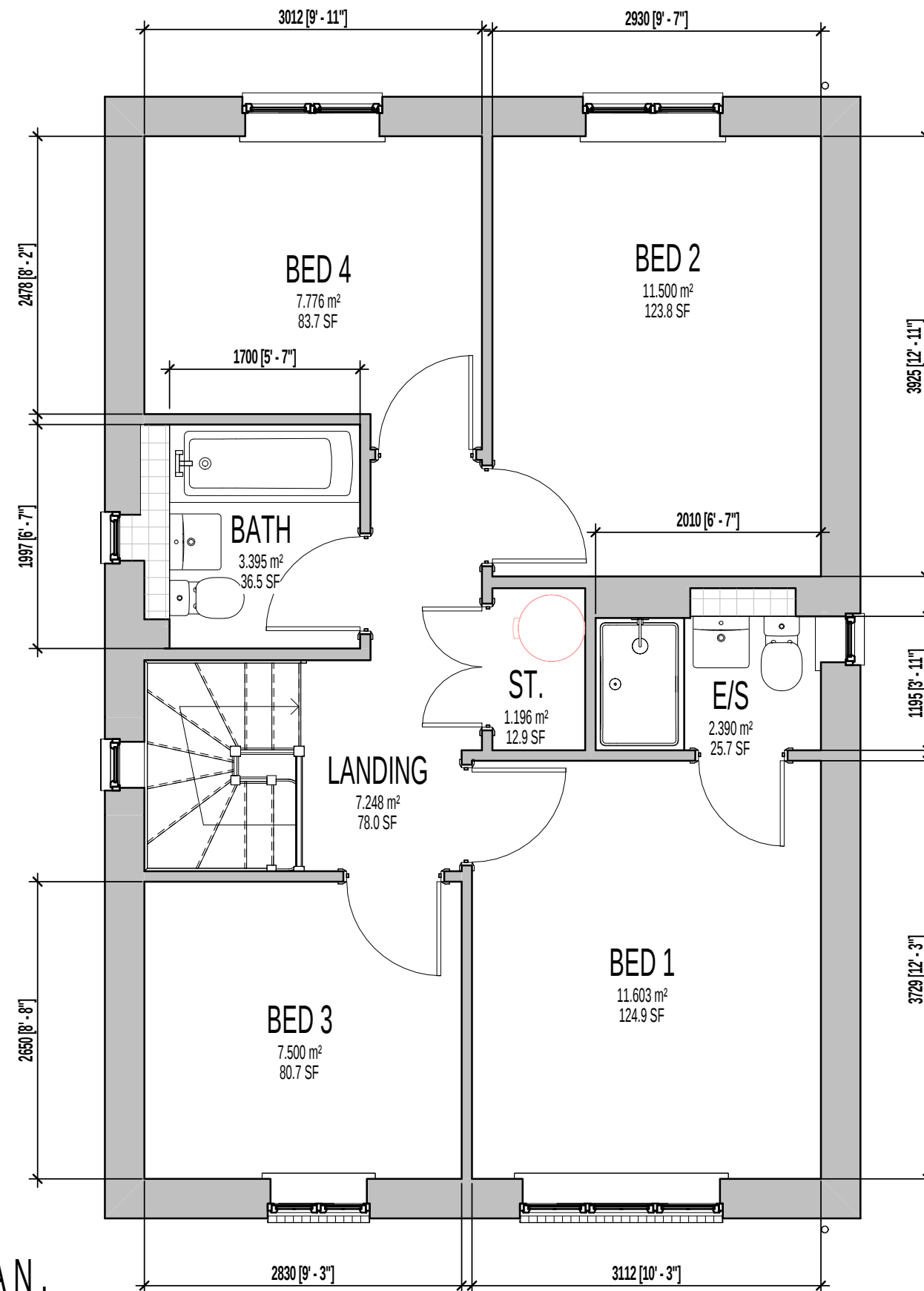
Revision

C1

millerhomes
Miller Homes Ltd
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ORIGINAL SHEET SIZE A3 - DO NOT SCALE FROM THIS DRAWING

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FIRST FLOOR PLAN.

MILLER STANDARD ROOM SIZE SCHEDULE						
ROOM NAME	FLOOR	METRIC			IMPERIAL	
		WIDTH	DEPTH		WIDTH	DEPTH
LOUNGE	GROUND FLOOR	3565	X 5300	MAX.	11' - 8"	X 17' - 5"
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LAND WEST OF NORTH ROAD, STEVENAGE
L459 - 4B / 8P / 1222 - GLENWOOD
2021 UPLIFT SPECIFICATION

Drawing Title
ASHP FIRST FLOOR SALES BORCHURE PLAN

Revision Note:

CONSTRUCTION ISSUE

Scale

1 : 50

Drawn By

M.T.

Date

07.03.24

Drawing No.

L459912

Revision

C1

millerhomes
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