

GENERAL ARRANGEMENT PLANS - WALL LEGEND

Frost resistant quality facing brickwork 20N Brickwork

Perimeter Timber Studs
140x38mm Timber Studs Panels with 140mm mineral wool insulation quilt between studs
1 or 2 layers of 9mm OSB-3 Sheathing to one side

Internal Loadbearing and Buttress Walls
89x38mm Timber Studs Panels with 50mm Acoustic insulation quilt between studs
1 or 2 layers of 9mm OSB-3 Sheathing to one side

Internal Non-Loadbearing Walls
63x38mm Timber Studs Panels with 50mm Acoustic insulation quilt between studs

MJ Movement Joint

Cavity Closer

IMPORTANT NOTE:
All external dimensions provided are to brickwork openings.
PLEASE REFER TO STRUCTURAL ENGINEERING PLANS AND TIMBER FRAME MANUFACTURERS DETAILS FOR EXACT TIMBER SPACING AND DIMENSION/ SIZING, NOGIN POSITIONING AND OSB QUANTITY

FIRE DOOR LEGEND

FD30
Half hour fire door with intumescent strip.

VENTILATION REQUIREMENTS

Purge Ventilation

All habitable rooms windows to open more than 30 deg's. Each habitable room to be provided with an openable window(s) with an opening area equal to 1/20th of the rooms floor area.

Continuous Mechanical Extract Ventilation

Refer to Specialists designs for the equipment specification.

STAIRCASE INFORMATION

Ground - 1st Floor (2849 FFL-FFL)

14 equal risers of 203.43mm; Going = 235mm; Pitch 41.87°; Width over strings - 990mm

1st - 2nd Floor (2748 FFL-FFL)

14 equal risers of 190.71mm; Going = 235mm; Pitch 41.87°; Width over strings - 990mm

STEEL INFORMATION

REF	DESCRIPTION	LENGTH (mm)	HEIGHT (mm) Top of Steel	HEIGHT (mm) Bottom of Steel
S1 Perforated plate Horizontal	203x133 UB30	2592 Inc. connecting plate	2783	2599
S2, S3 Perforated plate Vertical	203x133 UB30	2783 Inc. Bottom plate & non-shrink grout	2807	N/A

Height to top of steel taken from top DPC Level unless noted otherwise. REFER TO TIMBER FRAME & STRUCTURAL DESIGNS FOR ADDITIONAL DETAILS

LD2 D1 fire detection to BS 5839-6

LD2 requires a heat alarm in the Kitchen and smoke alarms in the Hallway, Landing and Living room, all interconnected.

D1 refers to the back-up power supply. D1 being tamper-proof standby supply consisting of a battery or batteries, with lithium being the standard type. Long life battery cells lasting the recommended lifespan of the alarm so the user cannot easily remove them.

CHARACTER AREA 1 & 4 - FINISHED AREA

GROUND FLOOR - 63.60m² (684.59ft²)
FIRST FLOOR - 63.60m² (684.59ft²)
SECOND FLOOR - 29.22m² (314.52ft²)
TOTAL FLOOR AREA - 156.42m² (1683.70ft²)

CHARACTER AREA 1 & 4 - STRUCTURAL AREA

GROUND FLOOR - 64.11m² (690.08ft²)
FIRST FLOOR - 64.11m² (690.08ft²)
SECOND FLOOR - 29.64m² (319.04ft²)
TOTAL FLOOR AREA - 157.86m² (1695.41ft²)

ELECTRICAL KEY

This electrical legend is to be read in conjunction with the internal specification and M&E consultants details if applicable with any discrepancies being reported to the site manager. Doorbells, light switches, entryphones, etc. should be fixed no higher than 1200mm above FFL. TV, OR & power sockets should be fixed no lower than 450mm above FFL. All wall lights to be fitted at 2100mm above FFL.

Symbol Description

Flush double switch socket.
Flush double switch socket with 2 USB points.
External socket.
13A flush unswitched spur.
Flush double switched socket 200mm above kitchen work top with 2 USB points.
Flush double switched socket 200mm above kitchen work top.

13A Flush unswitched outlet 300mm below kitchen work top.
Flush 30A cooker switch 200mm above kitchen work top.
Gas Point
Shower head & control position.
Ceiling mounted extract fan.
Isolator switch.
Shaver Socket.
Heat Detector.
Carbon Monoxide Detector.
Smoke Detector.
Extractor boost switch
Underfloor heating manifold
Details as Heating specialists drawings.

Flush rocker light switch. **Where switches are located in same wall, use 2/3/4 gang switches**
Ceiling rose light point.
LED light fitting.
Under-stair LED wall mounted light.
External Wall light.
Batten holder light fitting.
Door bell push.
Door bell sounder.
Dual TV/ FM point 1xCT100 cabling (diplexer). TV ONLY to Bedroom 2.
Single slave phone socket 1xCAT 6 cabling.
External canopy light.

RJ45 data point
HDMI port (4 & 5 beds only)
Immersion heater switch (located in AC).
Rad/Rail.
Heating control programming switch. As per ASHP detailed designs.
Grid switch.
Thermostat. Locations to suit GF UFH as specifications.
For full lounge plate specification refer to CALA Group Internal Specification.
For sites with FTTP refer to SD/1002. No burglar alarm. BT Main point under stairs.
Electrical Vehicle charging Point.

NOTES:

All dimensions to be checked on site prior to the commencement of construction and any discrepancy should be reported to the Site Manager.

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Sub-Contractors MUST ensure that they have the latest issue drawing before they commence work on site.

This drawing is to be read in strict conjunction with Housepacks/ Assembly Blocks, all relevant Specifications, schedules and Engineers details.

RWP/MJ positions to be finalised on Architects drawings on an individual site by site basis

Meter positions to be finalised on Architects drawings on an individual site by site basis

EVC position to be finalised on Architects drawings on an individual site by site basis

Character Area 1
Private Housing - 9 (OPP)

Character Area 2
Private Housing - 117 (AS)

Character Area 4
Private Housing - 2 (AS)

APPROVED DOCUMENT PART O
SPECIALIST CALCULATIONS TO BE RECEIVED.
CALCULATIONS MAY AFFECT WINDOWS.

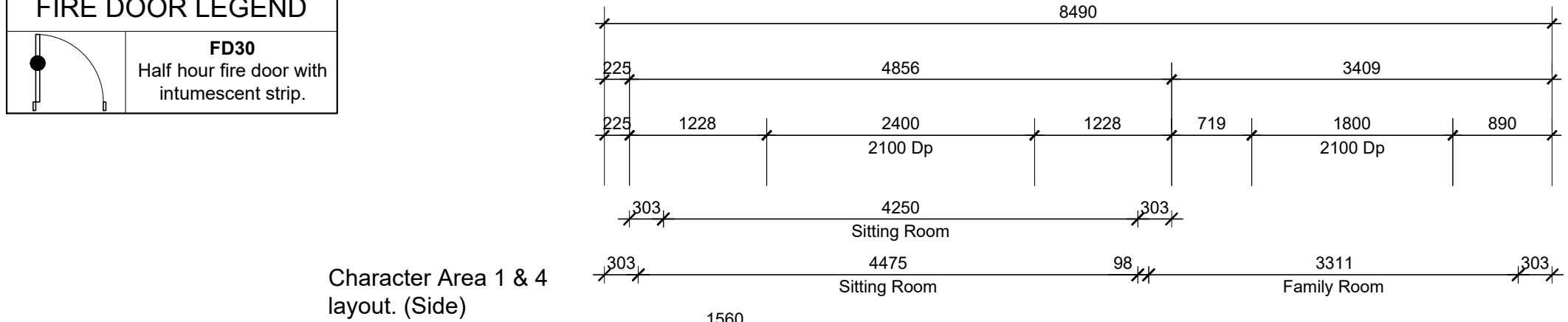
HOUSETYPE COMPLY WITH

APPROVED DOCUMENT M4(1)

HOUSEPACK TO BE FULLY REVIEWED BY
STRUCTURAL ENGINEERS.

O	19.06.2025	Kitchen electrics amended. Duplicated thermostat to Bedroom 1 omitted.	PAG
N	04.04.2025	Drawings reviewed to suit specification.	PAG
M	18.03.2025	MVHR boxing added to first floor plan & boxing detail added.	PAG
L	13.03.2025	Drawings reviewed to suit specification: doorbell & sounder omitted, Sitting Room, Bedroom 1 & Dining Room electrics amended, external front lighting amended, booster switches added to extract fans. Shelving added to AC.	PAG
M	07.03.2025	Staircase information updated to suit specification. dimensions updated. Floor areas added.	OP
L	27.02.2025	External lighting amended.	PAG
K	25.02.2025	Additional setting out added. Underfloor heating added to Ground Floor in lieu of radiators. USB sockets omitted from bedroom 1. Sanitary area downlights amended. Rear lights amended. Store added to underside of stairs.	PAG
J	29.01.2025	CT2 W04 & W06 updated to 1875mm.	KK
I	20.01.2025	Layout extracts added for Character area 1 & 2. Plot numbers updated to suit replan.	KK
H	10.12.2024	Plot numbers reviewed to suit replan.	PG
G	25.11.2024	Drawing updated to suit replan.	KK
F	30.10.2024	W16, W17, W18 omitted. W12 added back. Window styles updated	KK
E	22.10.2024	Door 01 (Front Entrance Door) amended to be 2100mm.	PG

Rev	Date	Description	Init.
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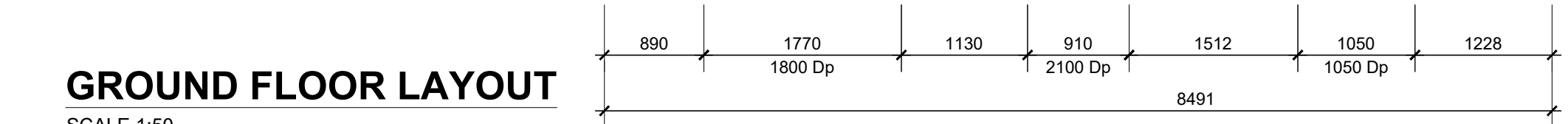
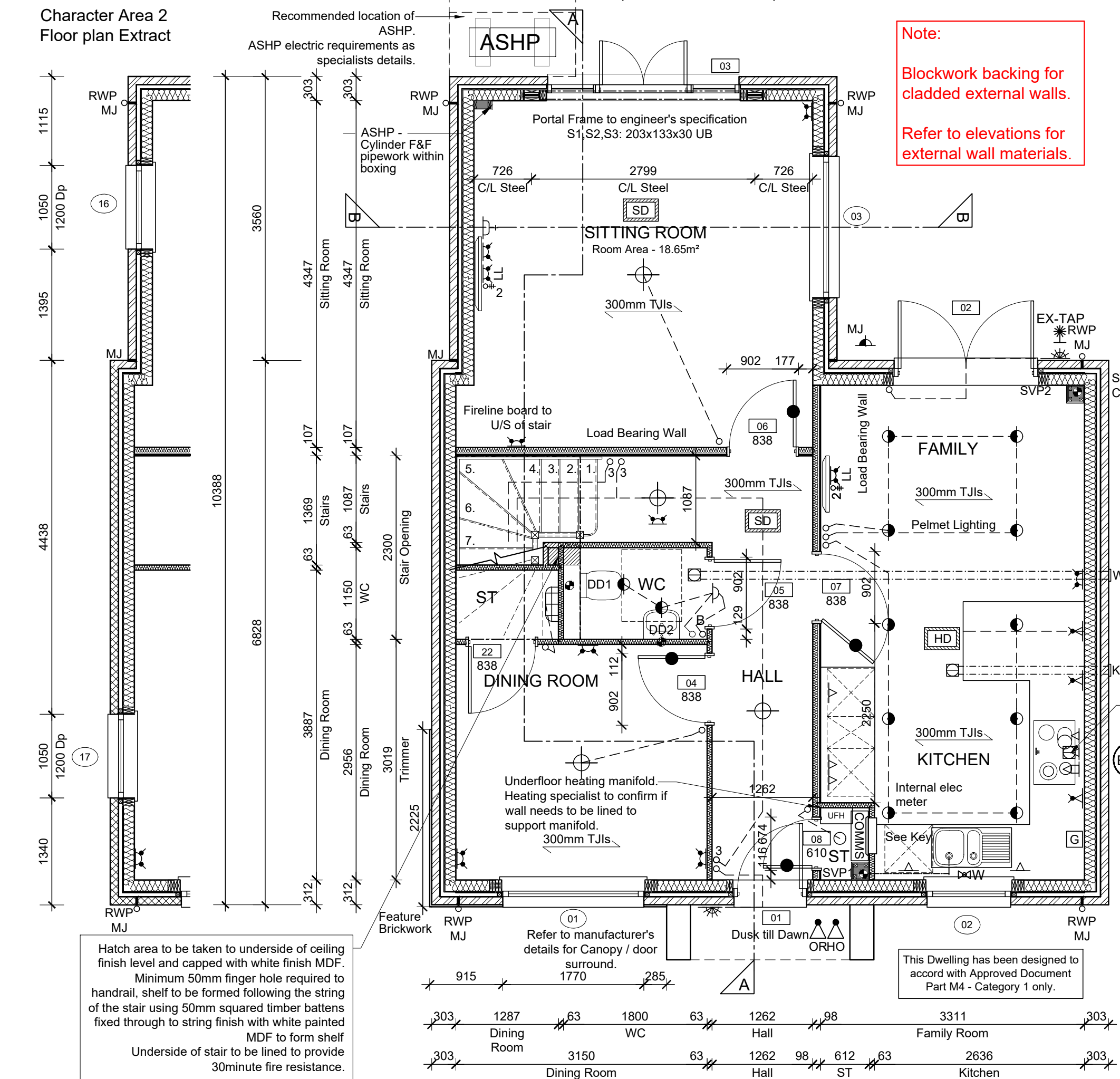


Character Area 1 & 4 layout. (Side)

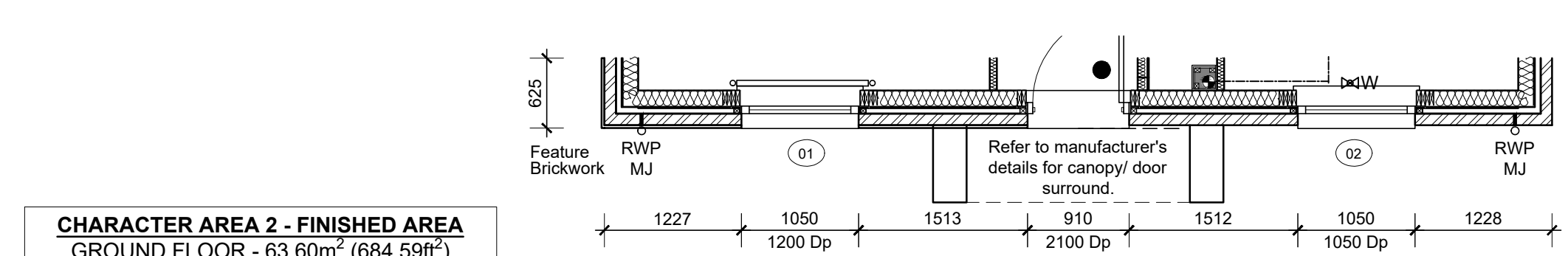
Please see the adjacent extracts for Character Area 2 layout and materials.

Recommended location of ASHP. ASHP electric requirements as specialists details.

NOTE: Please refer to external works & specification for waterbutt requirements.



GROUND FLOOR LAYOUT SCALE 1:50



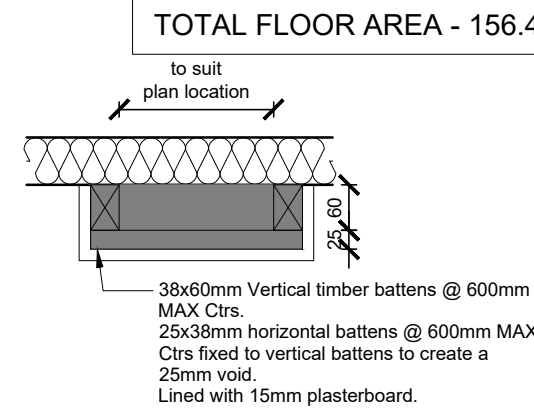
Character Area 1 Floorplan Extract

CHARACTER AREA 2 - FINISHED AREA

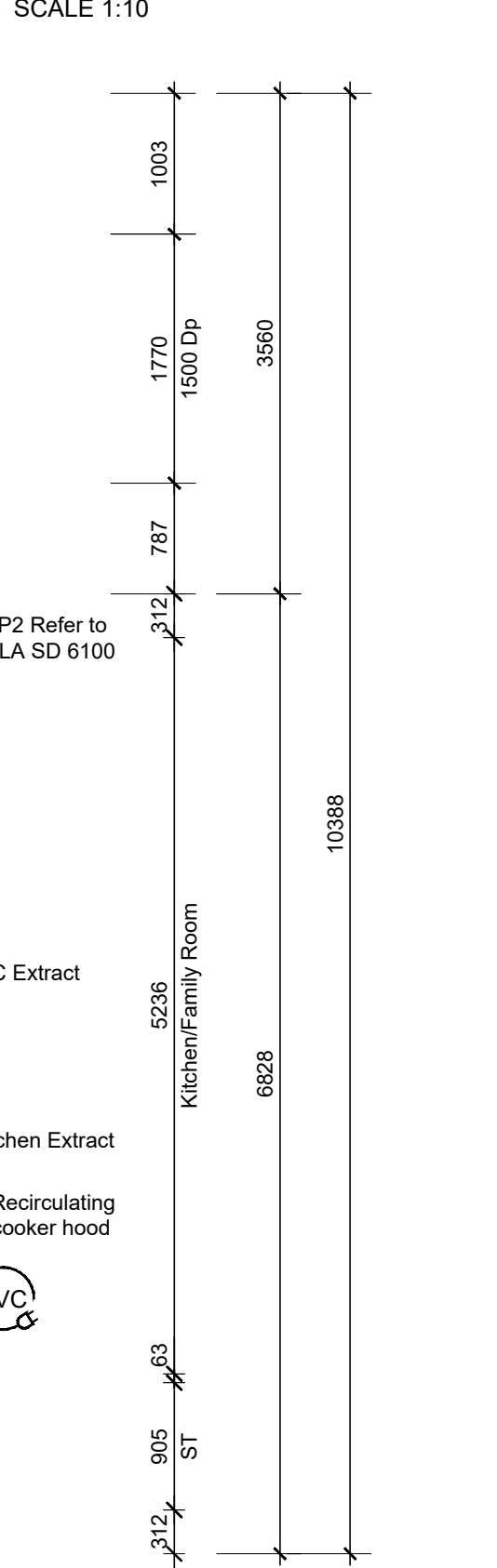
GROUND FLOOR - 63.60m² (684.59ft²)
FIRST FLOOR - 63.60m² (684.59ft²)
SECOND FLOOR - 28.02m² (301.60ft²)
TOTAL FLOOR AREA - 155.22m² (1670.78ft²)

CHARACTER AREA 2 - STRUCTURAL AREA

GROUND FLOOR - 64.11m² (690.08ft²)
FIRST FLOOR - 64.11m² (690.08ft²)
SECOND FLOOR - 28.40m² (305.69ft²)
TOTAL FLOOR AREA - 156.62m² (1685.85ft²)



MVHR Boxing detail SCALE 1:10

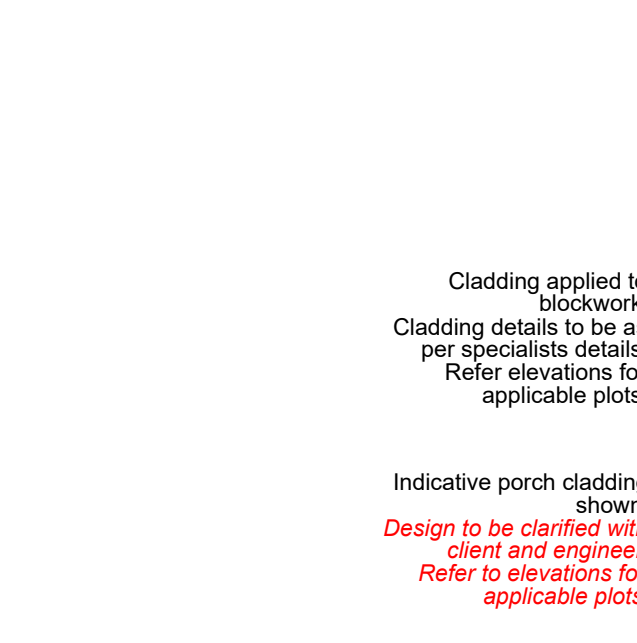


Character Area 2 & 4 layout. (Front)

Please see the adjacent extract for Character Area 1 layout and materials.

NOTE: PLEASE REFER TO ELEVATIONS FOR FEATURE BRICK, CLADDING AND MATERIAL VARIATIONS.

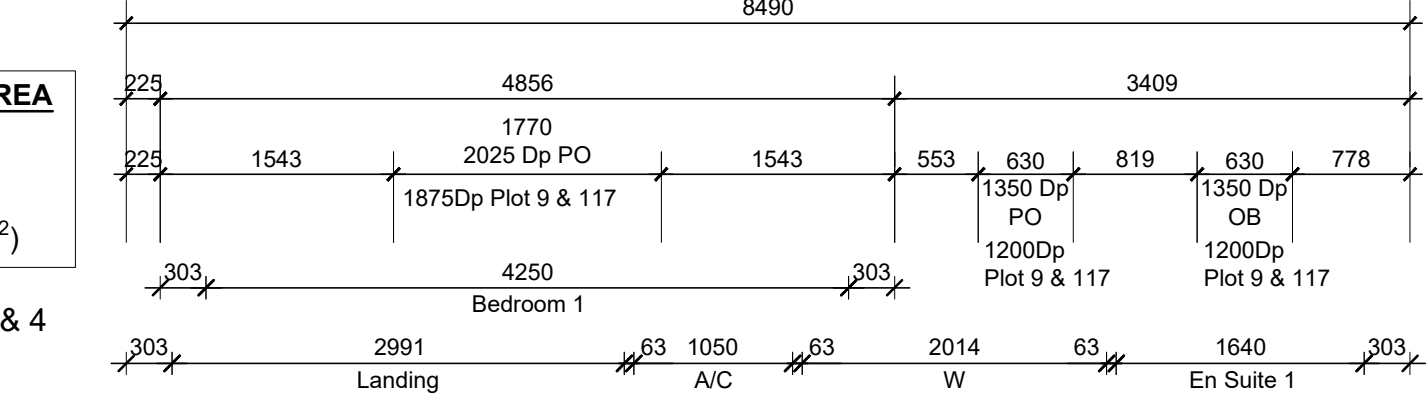
FIRST FLOOR LAYOUT SCALE 1:50



Character Area 1 Floorplan Extract

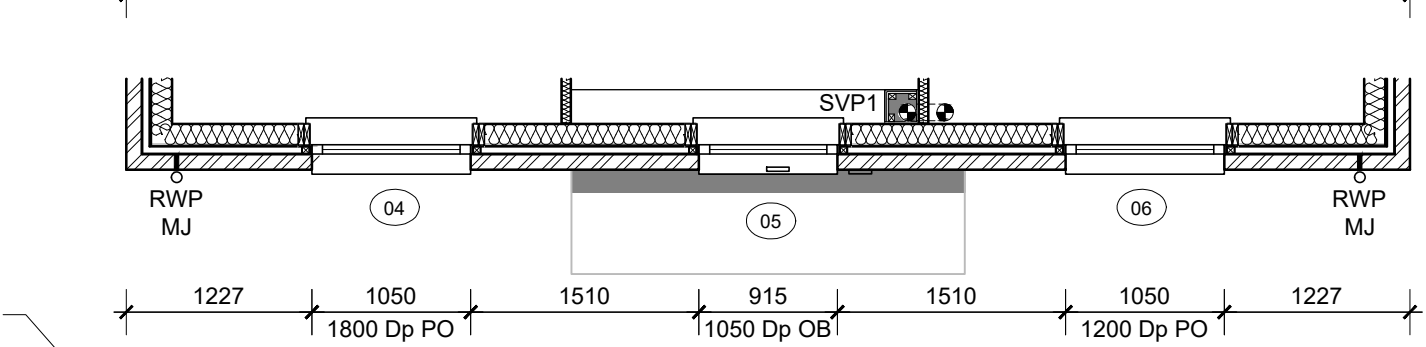
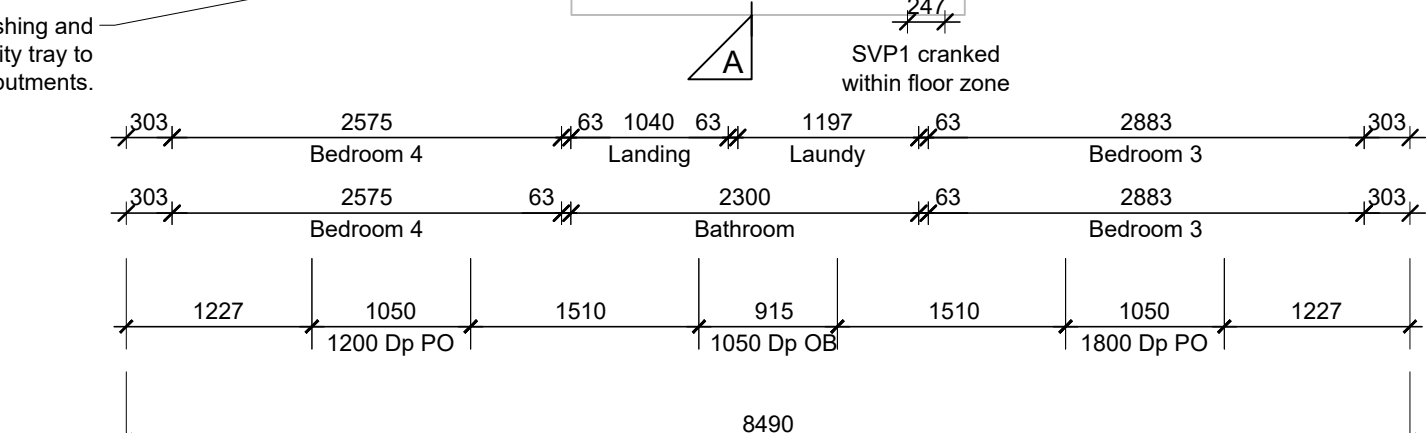
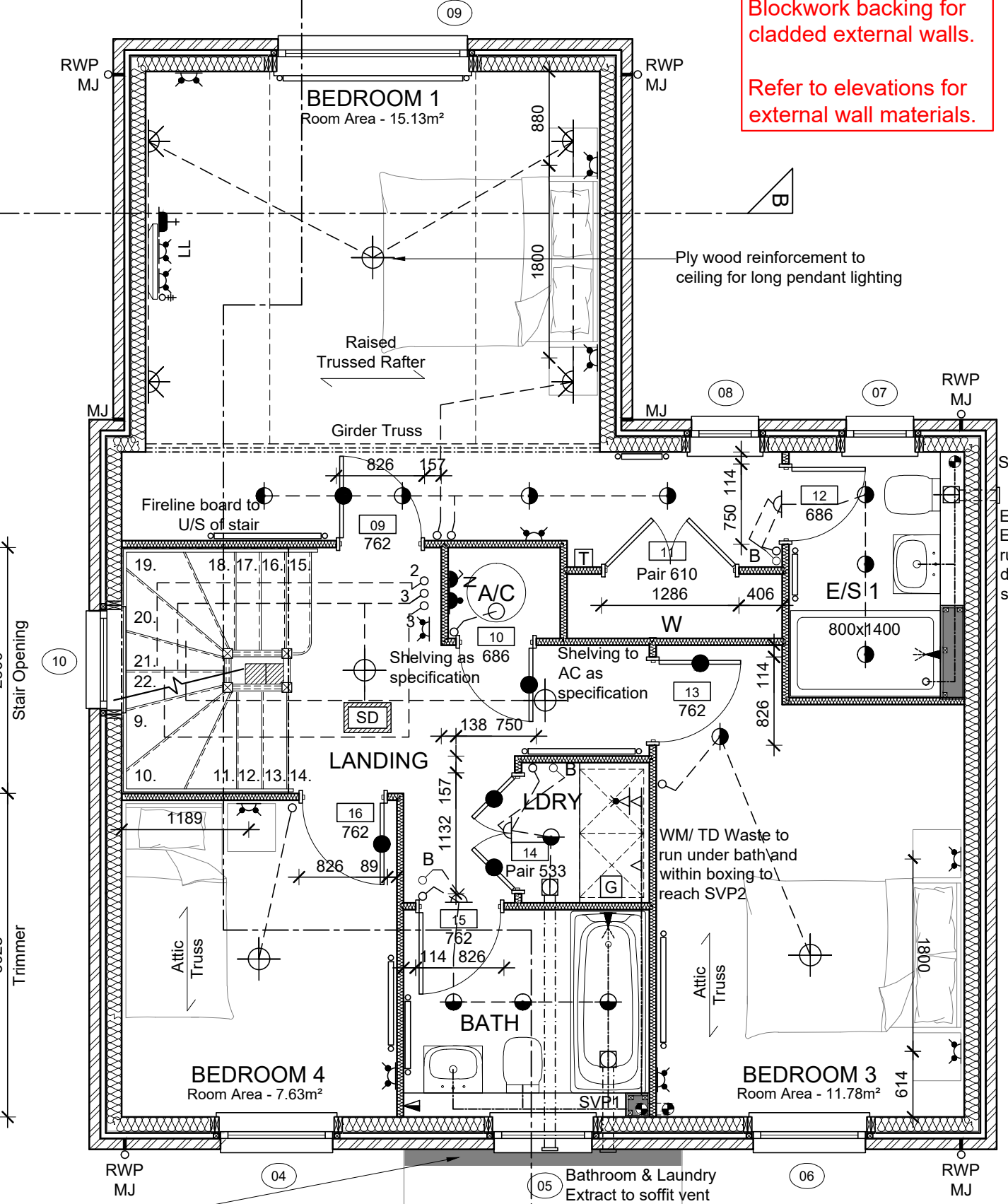
Materials

External materials as per relevant elevation drawings. Cladding and render to be applied to blockwork. Refer to site specification.

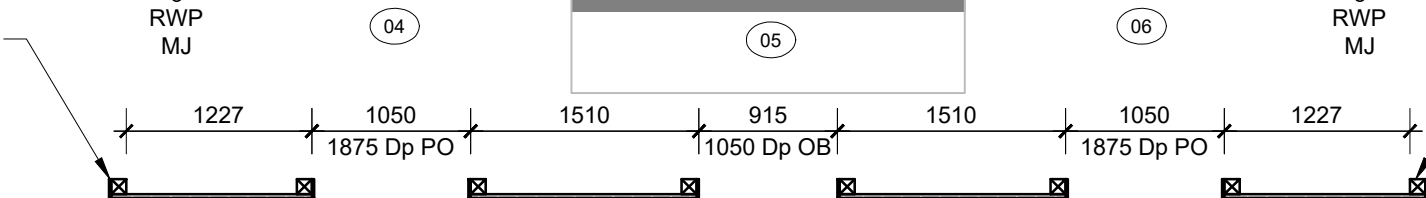


Character Area 1 & 4 layout. (Side)

Please see the adjacent extracts for Character Area 2 layout and materials.



Character Area 1 Floorplan Extract

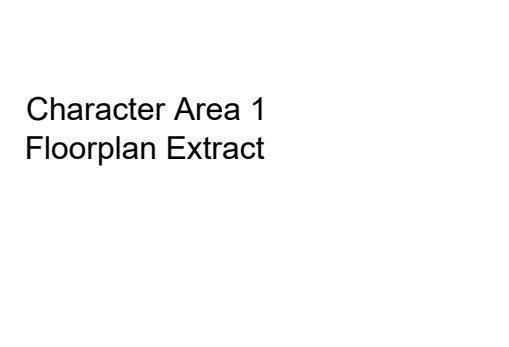


Character Area 2 Floorplan Extract

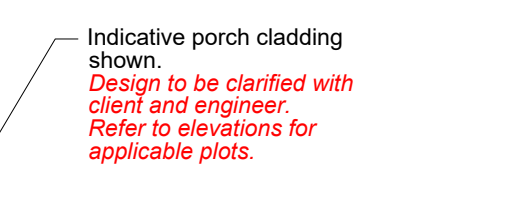
Indicative porch cladding shown. Design to be clarified with client and engineer. Refer to elevations for applicable plots.

Character Area 4 layout. (Front)

Please see the adjacent extracts for Character Area 1 & 2 layout and materials.



Character Area 1 Floorplan Extract



Character Area 2 Floorplan Extract

Indicative porch cladding shown. Design to be clarified with client and engineer. Refer to elevations for applicable plots.

CALA

JOB TITLE

Himley Village
Bicester
Phase 2a

DRAWING TITLE

The Tulipwood - (PRIVATE)
Ground & First Floor Layouts

Timber Frame Construction

SCALE 1:50 @ A1 DATE Sept 2023 DRAWN PAG

DWG NO. B12a-002-A-TUL-GA.01 REV. O