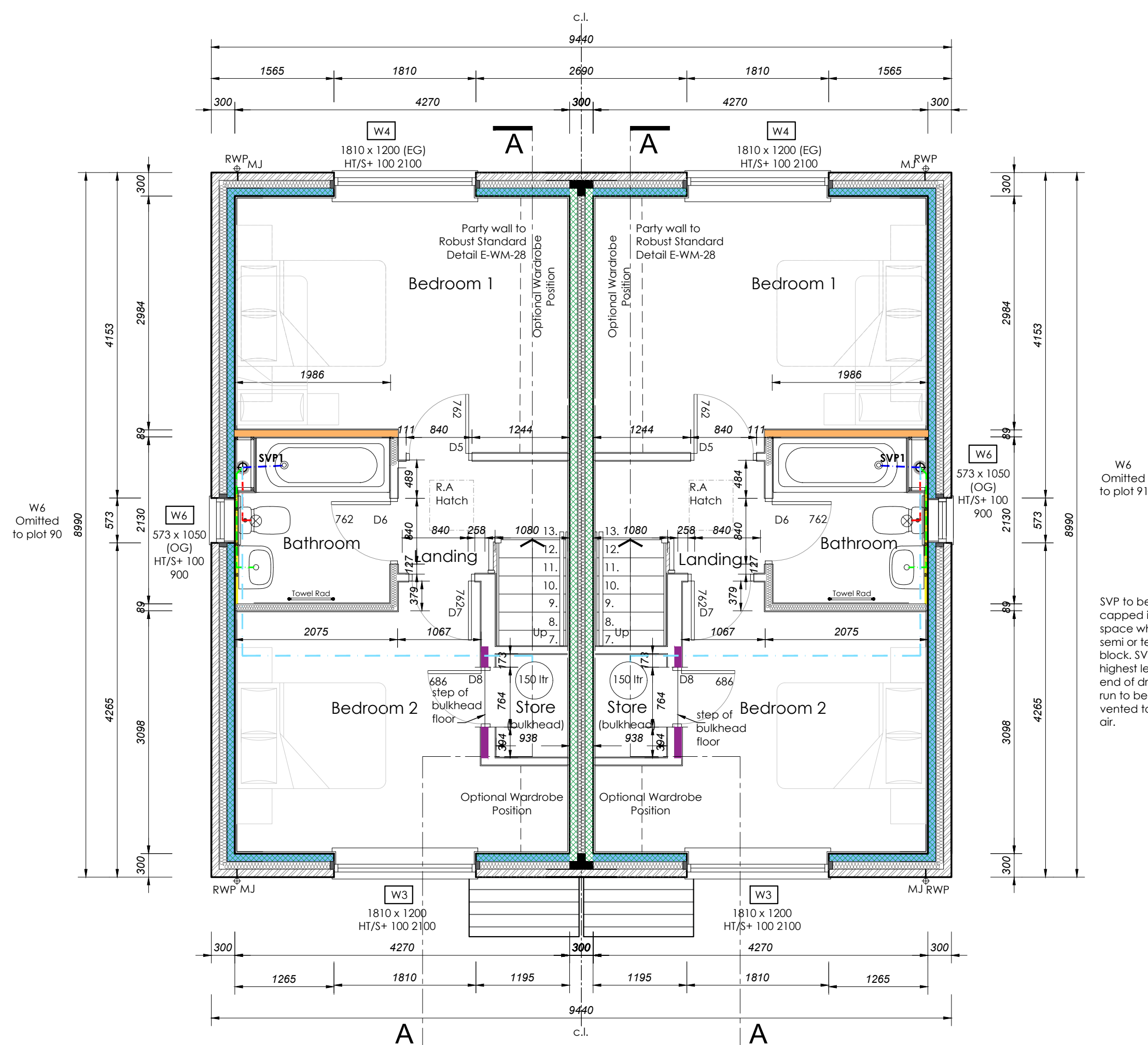
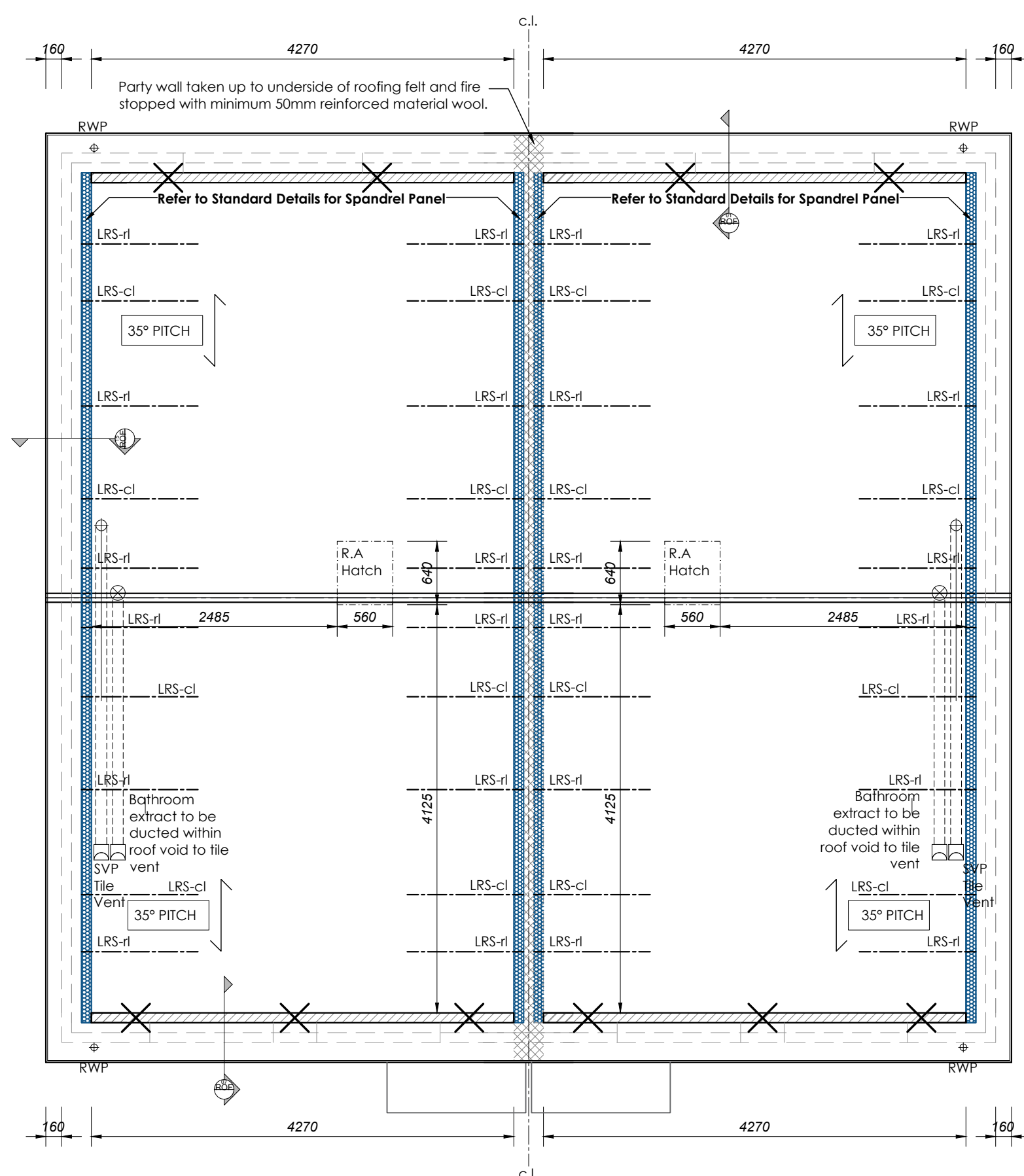




ROOF PLAN

Plots 73-74, 75-76, 89-90, 91-92, 101-102, 103-104



PLOT LOCATION PLAN

- NOTES:**
1. Tile vents to be installed at a maximum height of 1500mm from horizontal ceiling chord in accordance with CDM guidance.
 2. The requirement to vent soil pipes to atmosphere or AAV is site specific and must be agreed with the project Technical Manager.
 3. SVP terminations to suit site specific requirements and must be agreed with the project Technical Manager

- Denotes 100 x 50mm wallplate strapped with 30x2.5mm GMS wallplate straps at maximum 2000mm centers
- LRS-cl 1500x30x5mm GMS lateral restraint straps at ceiling level
- LRS-rl 1500x30x5mm GMS lateral restraint straps at rafter/verge level
- Timber spandrel panel to either gable or party wall in roof void extend min 300mm above ceiling level by specialist supplier.

SVP to be capped in loft space when in a semi or terrace block. SVP at highest level at end of drainage run to be vented to free air.

RWP - Calculation (Roof Area 1)
Pitch - 35°
Roof area - 91.6 / 2 = 45.8m²
Effective Roof Area = 76.52m²

Gutter Size - 115 x 75 deepflow
Outlet Size - 68mm
Outlet Number required
2no. Each Side (5no. Total)
at End location.

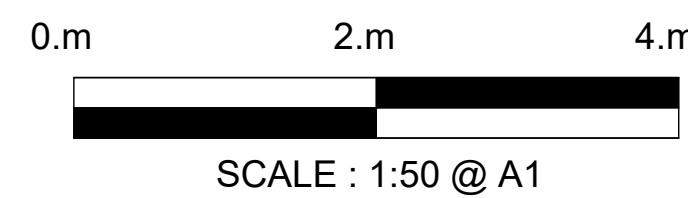
Complies as per Floplast Online Calculator

WALL LEGEND (PRIVATE)

- EXTERNAL WALL GROUND & FIRST FLOOR - (3.6N/mm²)**
100mm facing brick outer leaf, 100mm fully filled cavity insulation, 100mm acirebre block inner leaf (3.6N/mm² - 0.11W/mk) finished with 12.5mm plasterboard on dabs with taped joints.
- EXTERNAL WALL w/TILE HANGING - FIRST FLOOR (3.6N/mm²)**
Hanging Tiles affixed to 25x38mm timber battens and 25x38mm counter battens
100mm Medium dense aggregate outer leaf, 100mm fully filled cavity insulation, 100mm acirebre block inner leaf (3.6N/mm² - 0.11W/mk) finished with 12.5mm plasterboard on dabs with taped joints.
- PARTY WALLS - RSD E-WM-30 - GROUND & FIRST FLOOR (3.6N/mm²)**
300mm overall consisting of 2 skins of 100mm medium dense aggregate 3.6N/mm² 600-800kg/m³ blockwork, 100mm Knauf Supafill fully filled cavity. Each face to be finished with 12.5mm plasterboard on dabs with taped joints to both sides.
- INTERNAL LOADBEARING WALL**
100mm x 440mm x 21.5mm medium dense aggregate blockwork 3.6N/mm² to Ground floor & First Floor, finished with 12.5mm British Gypsum (or equivalent) taper edged wallboard stuck to face of blockwork walls with British Gypsum plasterboard adhesive @ 600mm centres (continuous ribbon to perimeter); joints taped and filled; 2.4m high boards throughout.
- STANDARD PARTITIONS**
89mm x 38mm timber studs @ 600mm maximum centers & 400mm centers in bathrooms. Framework to be secured on timber sole plate and have top and bottom rails with mid height stud bracing and timber noggins or pattresses for fixings (see Standard Details). Walls around stairwells to have additional noggins with max vertical gap of 470mm. 12.5mm wallboard fixed to both faces taped and jointed. Stud partitions where 40dB sound reduction is to be achieved (as indicated on plans) to have 12.5mm wallboard both sides with 50mm (minimum) quilt in all voids between wall linings. Water resistant wallboard is to be provided to walls in all wet areas. All walls are to be sealed around perimeter with flexible acoustic sealant.
- BUTTRESS WALL**
75x50mm C24 timber studs, floor plate and head plate. Panel to be sheathed on both sides with 9mm plywood or 9mm OSB. Finished with 12.5mm British Gypsum (or equivalent) taper edged wallboard; joints taped and filled; 2.4m high boards throughout.
- BOXED WALL (38mm BATTENS)**
38x38mm timber battens to be finished with 12.5mm British Gypsum (or equivalent) taper edged wallboard; joints taped and filled; 2.4m high boards throughout.
- TRIANGLE BULKHEAD ABOVE STAIRCASE**
Timber studwork to be constructed above stair for raised storage cupboard. Studwork to be created on site as per Dandara typical details

SERVICES/ SANITARY LEGEND

- 50mm 32mm
40mm 100mm
FS - Floor Socket RWP - Rain Water Pipe
W - Water Supply SVP - Soil Vent Pipe
Extract Fan
Consumer Unit SS - Stub Stack Pipe
Communication / Data Hub
MJ - Movement Joint



C5	Structural Engineers information added to drawing	10.06.2025	JB
C4	General update to HT	15.04.2025	JB
C3	Wall types key updated, studs changed to 89mm. Door linings updated to suit	20.06.2024	RJ
C2	Lintels Omitted from schedule, MJ added. Windows omitted to Plots 90+91+92	05.06.2024	RJ
C1	Construction Issue	30.10.2023	HD
REV.	AMENDMENT	DATE	BY

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PROJECT:
STEEL CROSS
For Dandara
By Refine Architecture

DRAWING:
VYNE
Ground, First and Roof Plan
Plots 73-74, 75-76, 89-90, 91-92, 101-102, 103-104

STATUS:
Construction

SCALE:
1:50 @ A1

JOB No.:
23_04

DRAWING No.:
PO_2302H_201

DATE:
Oct 23

NAME:
HD

Rev.
C5

EXTERNAL OPENINGS SCHEDULE

REF	LOCATION	SIZE (mm)	MIN EQUIVALENT VENTILATOR AREA PER HABITABLE ROOM	ACTUAL EQUIVALENT VENTILATOR AREA PER HABITABLE ROOM	COMMENTS
ED1	Entrance Hall	1023 x 2100			LT
ED2	Kitchen/ Dining	1585 x 2100			SG
W1	Living Room	1810 x 1350	1No. 4000mm²	1No. 5000mm²	
W2	Kitchen	910 x 1050	1No. 4000mm²	1No. 5000mm²	
W3	Bedroom 2	1810 x 1200	1No. 4000mm²	1No. 5000mm²	EG
W4	Bedroom 1	1810 x 1200	1No. 4000mm²	1No. 5000mm²	EG
WS*	Living Room	573 x 1050			Omit to Plots 90+91+92
W6*	Bathroom	573 x 1050			OG - Omit to Plots 90+91

KEY
LT = Level Door Threshold (part M compliance)
SG = Safety Glazing (part N compliance)
EG = Egress Window
OG = Obscure Glazing
SR = Safety Restrictor - window restricted to 100mm opening (Part K compliance)
* = Optional Window

NOTE
1. All ground floor and easily accessible windows to be **SECURE BY DESIGN COMPLIANT** and in accordance with the requirements of Building Regulations, part Q.
2. All window sizes listed are to structural blockwork opening
3. Refer to elevations for openings

WINDOW MANUFACTURER TO CONFIRM THE ACTUAL AREA OF TRICKLE VENTILATION PROVIDED.

INTERNAL OPENINGS SCHEDULE

REF	LOCATION	LEAF SIZE (mm)	STRUCT OPENING (mm)	LINTEL	LINING	COMMENTS
D1	Living	838 x 1981	915 x 2025	N/A	120 x 25	
D2	Kitchen	838 x 1981	915 x 2025	N/A	120 x 25	
D3	WC	838 x 1981	915 x 2025	N/A	120 x 25	
D4	Store	610 x 1981	688 x 2025	N/A	120 x 25	
D5	Bedroom 1	762 x 1981	840 x 2025	N/A	120 x 25	
D6	Bathroom	762 x 1981	840 x 2025	N/A	120 x 25	
D7	Bedroom 2	762 x 1981	840 x 2025	N/A	120 x 25	
D8	Store	686 x 1981	764 x 2025	N/A	120 x 25	

KEY
FD30 = Fire Door (30 minutes fire resistance)
(S) = Smoke Seals & Intumescent Strips
SC = Self Closing Door
LL = Leading Leaf (see plan)
= Fire door not required if electric meter located externally

NOTES:
Doors should be undercut to achieve one of the following:
a. If the floor finish is fitted: 10mm above the floor finish
b. If the floor finish is not fitted: 20mm above the floor surface

Movement joints and rainwater down pipes located on a site basis.

Kitchen layout is indicative, please refer to the approved specialist kitchen design for exact setting out and fitting positions.

Ensure a full block is used under the lintel bearing in accordance with the NHBC/Premier Guarantee guidelines (Clause 6.3-5.3) along with a minimum bearing for the lintel of 150mm.

Door threshold detail in accordance with Building Regulations, part M

Secure doorset and glazing to be provided in accordance with Building Regulations, part Q

GROUND FLOOR PLAN - Plots 73-74, 75-76, 89-90, 91-92, 101-102, 103-104

